

CARINO VILLAS

14 Finished/64 Partially Finished Condominium Lots

W/NWC of Queen Creek Rd & Arizona Ave ♦ Chandler, Arizona 85248

~ Exclusively Listed ~



HIGHLIGHTS

| | |
|----------------------|---|
| LOCATION ♦ | W/NWC Queen Creek Rd & Arizona Ave Chandler, Arizona 85248 |
| PRICE ♦ | Submit / Cash Sale |
| DESCRIPTION ♦ | 78 Vacant Condominium Lots 9 Buildings of 6 Units each 3 Buildings of 8 Units each |
| UTILITIES ♦ | - Water/Sewer: City of Chandler - Electric: APS - Gas: Southwest Gas |
| COMMENTS ♦ | - Seller looking for 45-day Feasibility Period & 15-day Close of Escrow. - Net Impact Fees: \$8,202. - At build-out, HOA dues are projected to be \$209 per month, includes water, sewer, and trash removal. - Estimated cost to complete on-site improvements: \$596,000. Two buildings can be built & sold without incurring any site development costs. |

PLEASE CONTACT:

Joe Hogan

(602) 553-4158 | Office

(602) 527-6211 | Mobile

jhogan@hogangroupaz.com

Kevin Hogan

(602) 553-4115 | Office

(480) 310-4999 | Mobile

khogan@hogangroupaz.com

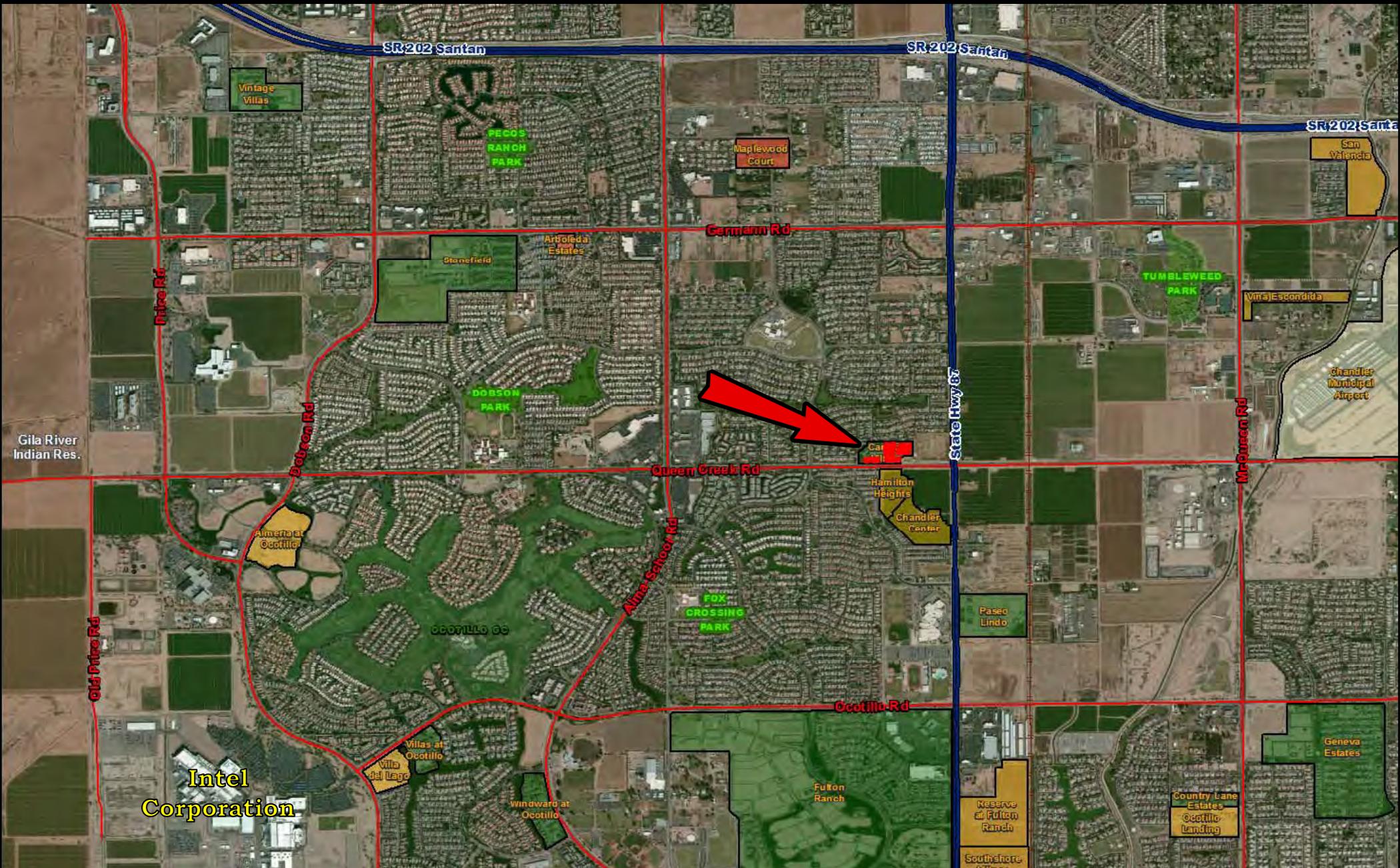
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SITE HIGHLIGHTS

- **Improvements:** Phase 2 (Buildings 14 & 17) is ready to build. Phases 3, 4, and 5 are graded and have water, sewer, & partial dry utilities in the ground. Cost to complete on-site improvements of Phases 3, 4, and 5 is approximately \$596,000.
- **Plans:** Rights to approved plans convey, which were drawn by Whitneybell Perry, Inc. in Phoenix. As long as the plans conform to specific building footprint within the existing Condo Map, new plans can be approved through the City of Chandler. Cost will be less than \$120,000 to bring up to current City of Chandler Code.
- **Homeowners Association:** Declarant rights convey in the sale of subject property. Builder does not have to pay HOA dues on any units until the first home is sold within each Building. For example, when the 1st unit is sold in a 6-unit building, the builder will be responsible for paying the dues for the remaining 5 units until those units are sold to end-users.

OVERALL LOT MIX

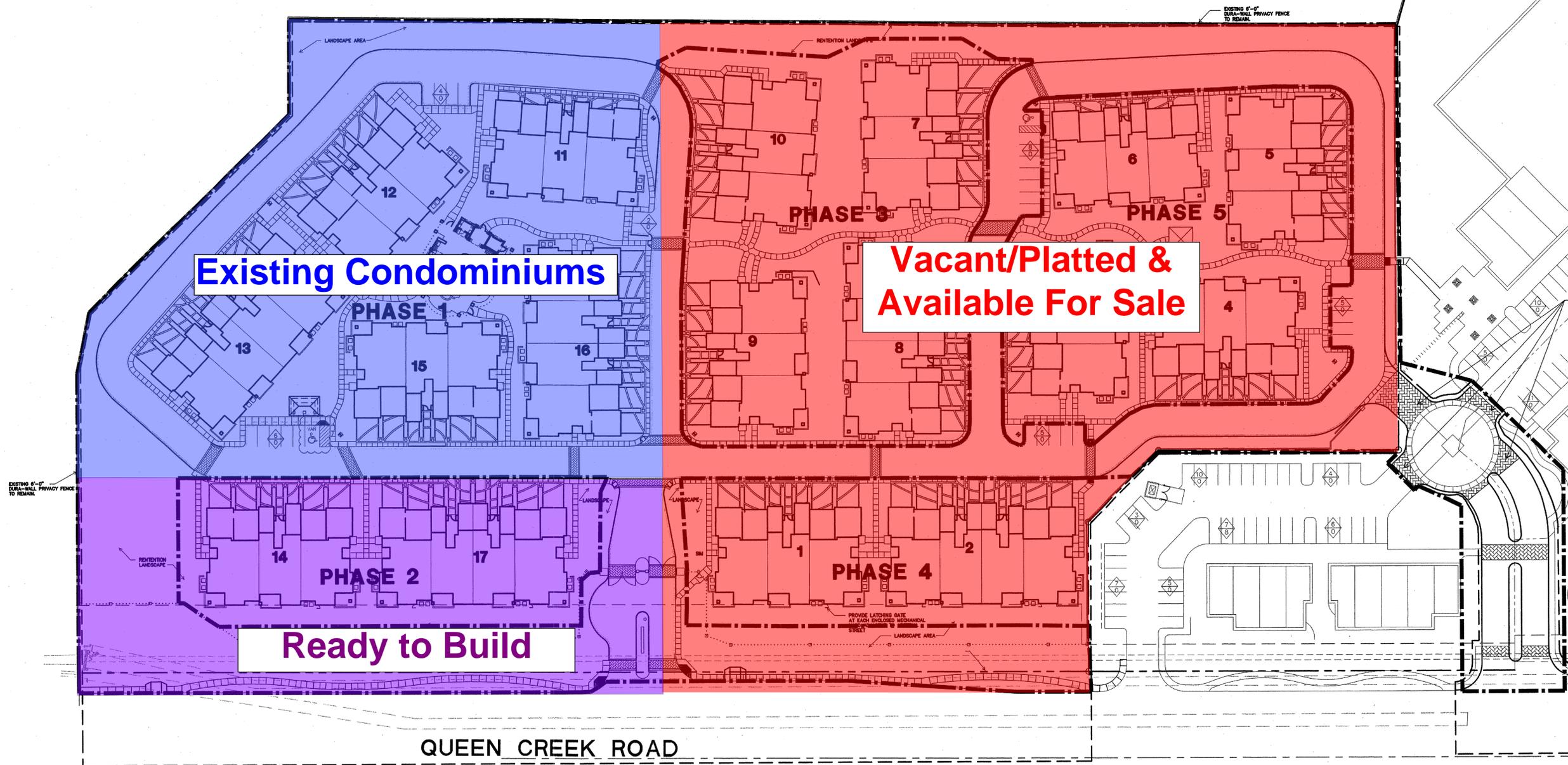
| Unit Type | # of Bedrooms | Partially Finished | Finished | Total Lots | Unit Sq Ft |
|--------------------------|---------------|--------------------|-----------|------------|--------------|
| B1 | 2BR | 12 | 3 | 15 | 1,302 |
| B2 | 2BR | 12 | 3 | 15 | 1,462 |
| <u>C1</u> | <u>2BR</u> | <u>20</u> | <u>4</u> | <u>24</u> | <u>1,498</u> |
| 2-Bedroom Totals: | | 44 | 10 | 54 | 1,434 |
| C2 | 3BR | 20 | 4 | 24 | 1,937 |
| Total/Avg. | | 64 | 14 | 78 | 1,588 |

FINISHED LOT MIX

| Unit Type | Bldg 14 | Bldg 17 | Total Units | Unit Sq Ft | Total SF |
|-------------------|----------|----------|-------------|--------------|--------------|
| B1 | 1 | 2 | 3 | 1,302 | 3,906 |
| B2 | 1 | 2 | 3 | 1,462 | 4,386 |
| C1 | 2 | 2 | 4 | 1,498 | 5,992 |
| C2 | 2 | 2 | 4 | 1,937 | 7,748 |
| Total/Avg. | 6 | 8 | 14 | 1,588 | 1,574 |

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Notice of alternate billing (or payment) cycle
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DECORATIVE PAVERS AT EASTERN DRIVE SHALL BE INSTALLED DURING PHASE 5 OF CONSTRUCTION AND WILL BE COMPLETE BEFORE CERTIFICATE OF OCCUPANCY IS RECEIVED ON THE FIRST BUILDING COMPLETED IN PHASE 5.

- 3 10/17/05 CITY REDLINES/REVISIONS
- 2 8/15/05 ARCHITECT REVISION
- 1 8/15/05 CITY REDLINES/REVISIONS



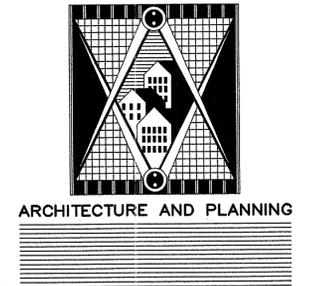
carino villas
 CONDOMINIUM



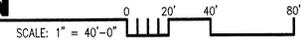
P.B. BELL & ASSOCIATES, INC.



WHITNEYBELL ARCHITECTS INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 (602)265-1891



PROJECT PHASING PLAN



1.40
 0457

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 MAY 2005

PHASING PLAN

DEVELOPMENT DATA

ADDRESS:
250 WEST QUEEN CREEK ROAD
PARCEL NUMBER:
303-34-004V
ZONING:
EXISTING: P.A.D. MULTI-FAMILY

SITE AREA:
LOTS: 1 LOT
NET: 423,303 S.F. = 9.72 ACRES
USE:
MULTI-FAMILY RESIDENTIAL

AMENITIES:
POOL
SPA
RAMADAS W/ BARBECUE FACILITIES

OCCUPANCY:
APARTMENTS - R2
RAMADAS-B
GARAGES - U1

TYPE OF CONSTRUCTION:
TYPE V-B

CODE:
2003 INTERNATIONAL BUILDING CODE
2003 INTERNATIONAL MECHANICAL CODE
2003 INTERNATIONAL PLUMBING CODE
2002 NATIONAL ELECTRICAL CODE
2003 INTERNATIONAL FIRE CODE
ICC (ANSI) A.117-1.1998 & IBC
1107.6.2.1 FOR ACCESSIBILITY SCOPING

DEVELOPMENT PHASING:
SINGLE PHASE
BUILDING HEIGHT:
ALLOWED: 35' (2 STORY)
PROVIDED: TWO STORY
30'-0" MAX. HT.

DENSITY:
ALLOWED: 11.5 UNITS PER ACRE
PROVIDED: 11.5 UNITS PER ACRE

LOT COVERAGE:
LOT COVERAGE ALLOWED: 50%
126,995 S.F. APARTMENT BUILDINGS
800 S.F. RAMADAS
127,795 S.F. TOTAL

UNIT MIX TOTAL:

| MAIN BUILDINGS: | | UNITS PER BLDG | | NO. OF TOTAL BLDG'S UNITS | | |
|-----------------|----|----------------|-----|---------------------------|----|-------|
| BUILDING | B1 | B2 | C1* | C2 | | |
| TYPE 1 | 1 | 1 | 2 | 2 | 6 | 12 72 |
| TYPE 2 | 2 | 2 | 2 | 2 | 8 | 5 40 |
| TOTAL: | | | | | 17 | 112 |

* 3 UNITS OF THE C1 MODEL DISTRIBUTED THROUGHOUT THE PROJECT ARE DESIGNATED C1H AND HAVE BEEN MODIFIED TO SERVE AS THE TYPE A ADA ACCESSIBLE UNITS.

PARKING:

| REQUIRED: | TOTAL |
|---------------------------------|-------|
| TWO BEDROOM 78 X 2 = 156 | |
| THREE BEDROOM 34 X 2 = 78 | |
| RESIDENT PARKING REQUIRED = 224 | |
| GUEST PARKING REQUIRED = 28 | |
| TOTAL PARKING REQUIRED = 252 | |

| PARKING PROVIDED: | TOTAL |
|--------------------------------|-------|
| UNCOVERED SPACES 30 | |
| DESIGNATED ACCESSIBLE SPACES 2 | |
| ATTACHED GARAGES 180 | |
| TANDEM SPACES (DRIVEWAYS) 160 | |
| TOTAL 372 | |

KEY NOTES:

- 1. FREE STANDING GAS BBQ
- 2. NOT USED.
- 3. PEDESTRIAN GATE 4'-0" WIDE, SELF CLOSING W/LOCK. SEE KEYNOTE 10.
- 4. 6' WROUGHT IRON VIEW FENCE. SEE LANDSCAPE DETAILS ON SHEET L-9 (WALL)
- 5. 3' WROUGHT IRON FENCE OVER 3' SOLID BLOCK BASE SCREEN WALL. TYPICAL AT ALL PERIMETER PARKING. SEE LANDSCAPE DETAILS ON SHEET L-9 (WALL)
- 6. 6" SOLID 6" MASONRY FENCE. TYPICAL AT EAST PROPERTY LINE. SEE LANDSCAPE DETAILS ON SHEET L-9 (WALL) & 3/7.10
- 7. SINGLE PANEL AUTOMATIC ROLLING GATE.
- 8. DOUBLE PANEL ELECTRONIC SWINGING GATE. WITH CALL BOX PER MANUFACTURER'S DESIGN.
- 9. VEHICULAR KEYPAD GATE CONTROL AND CALL BOX. PROVIDE SIMILAR CALL BOX AT PEDESTRIAN GATES. SEE NEXT NOTE.
- 10. NOT USED.
- 11. MONUMENT SIGN BY OTHERS UNDER SEPARATE CONTRACT. ALL SIGNAGE WILL REQUIRE SEPARATE PERMIT TO BE COORDINATED BY CONTRACTOR.
- 12. SPA & SWIMMING POOL - UNDER SEPERATE PERMIT
- 13. INDICATES ROLLED CURB AT FIRE LANE ENTRANCE (TYP.) PAINT RED. PROVIDE TWO SIGNS (ONE AT EACH SIDE OF ENTRANCE) READING "NO PARKING BETWEEN ARROWS. EMERGENCY ACCESS" (TYP. AT THREE LOCATIONS THIS SITE)
- 14. RAMADA WITH BBQ. SEE SHEET 3.31
- 15. POOL EQUIPMENT ROOM, SEE SHEET 3.31
- 16. MAIL RAMADA. SEE SHEET 3.30
- 17. POOL RAMADA. SEE SHEET 3.31
- 18. "KEYSTONE" RETAINING WALL - SEE CIVIL SHEETS FOR EXTENT AND HEIGHTS.
- 19. PRIVATE ASPHALT DRIVE - SEE CIVIL DRAWINGS FOR DETAILS.
- 20. CONCRETE DRIVE/APRONS @ INDIVIDUAL GARAGES. SAWCUT AND TEXTURE AS INDICATED ON DETAIL.
- 21. DECORATIVE CONC. PAVERS - PATTERN BY LANDSCAPE ARCHITECT.
- 22. NOT USED.
- 23. LANDSCAPE SETBACK PER DEVELOPMENT PLAN APPROVAL 50'-0".
- 24. UTILITY EASEMENT - 8"-0"
- 25. UTILITY EASEMENT - 4"-0"
- 26. DESIGNATED TRASH PAD FOR EACH UNIT INTEGRAL WITH THE DESIGN FOR THE PRIVATE DRIVEWAYS.
- 27. PRIVATE PATIO WALL TO 36" A.F.F. OF UNIT
- 28. PEDESTRIAN CONCRETE WALK. TYP. 4'-0" WIDE
- 29. ADA PEDESTRIAN SIDEWALK CURB RAMPS PER DETAIL SEE CIVIL. PROVIDE AS REQUIRED BY GRADES.

GENERAL NOTE:

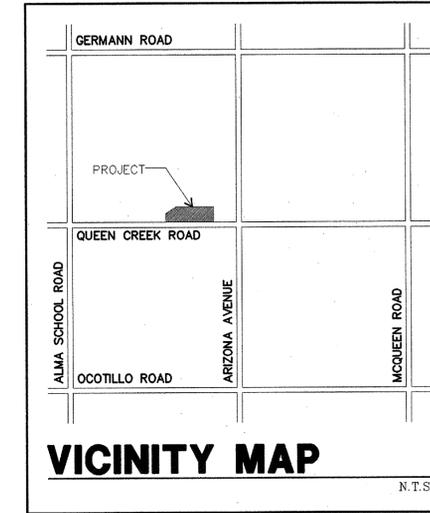
ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.

ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.

SOLID MASONRY WALLS (INCLUSIVE OF GATES WHEN ADJACENT TO ARTERIAL ROADS) EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.

ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.

ALL TRANSFORMERS WILL BE PAINTED TO MATCH ADJACENT WALL COLOR.

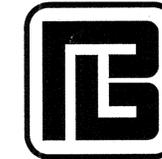


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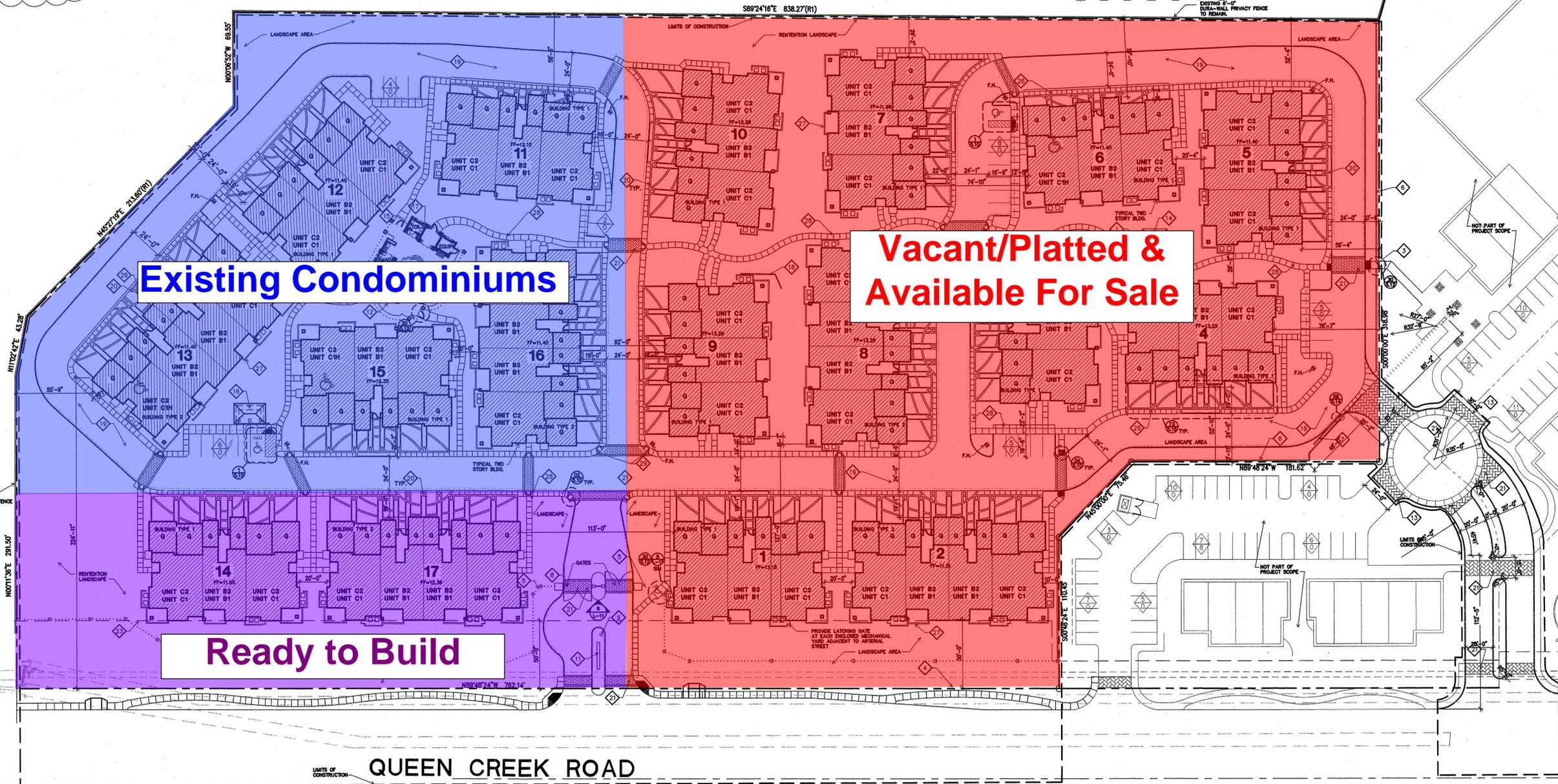


ARCHITECTURE AND PLANNING

1.10
0457

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NOVEMBER 2004

OVERALL SITE PLAN



Existing Condominiums

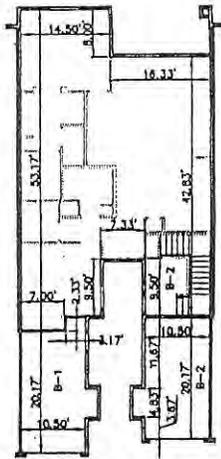
Vacant/Platted & Available For Sale

Ready to Build

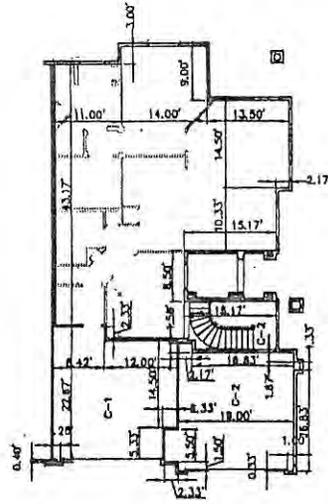
ARCHITECTURAL SITE PLAN

SCALE: 1" = 40'-0"

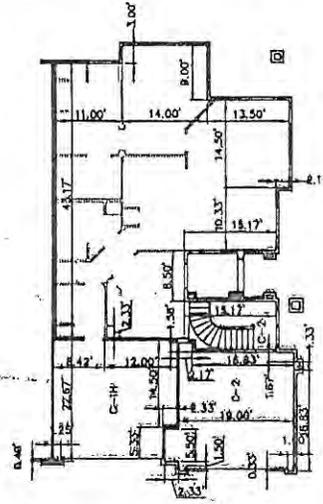




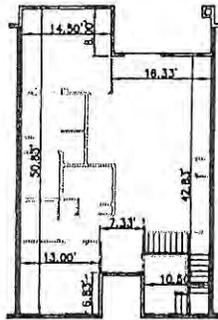
UNIT B-1 / B-2 GARAGE
TYPICAL BUILDING GROUND LEVEL
SCALE 1" = 10'



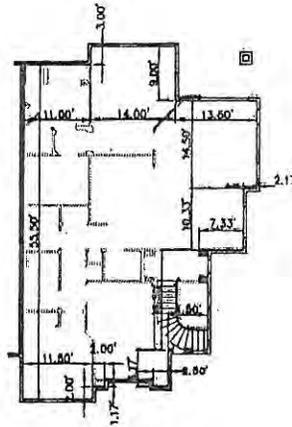
UNIT C-1 / C-2 GARAGE
TYPICAL BUILDING GROUND LEVEL
SCALE 1" = 10'



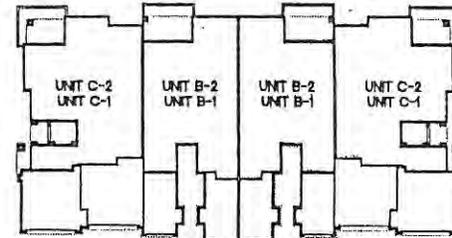
UNIT C-1H / C-2 GARAGE
TYPICAL BUILDING GROUND LEVEL
SCALE 1" = 10'



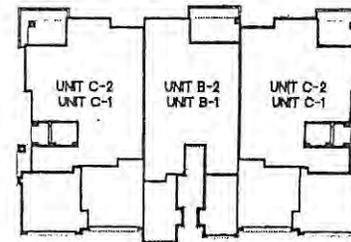
UNIT B-2
TYPICAL BUILDING UPPER LEVEL
SCALE 1" = 10'



UNIT C-2
TYPICAL BUILDING UPPER LEVEL
SCALE 1" = 10'



BUILDING TYPE 2
SCALE 1" = 20'



BUILDING TYPE 1
SCALE 1" = 20'

NOTES

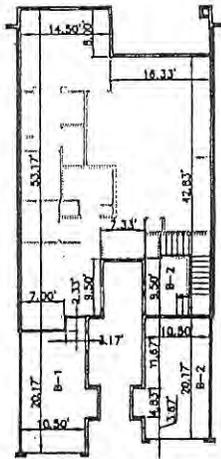
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2. HORIZONTAL AIR-SPACE LIMITS - UNIT HORIZONTAL BOUNDARIES ARE DEFINED AS THE INTERIOR FINISHED BUT UNDECORATED SURFACE OF THEIR RESPECTIVE FLOORS AND CEILINGS. FLOOR AND CEILING ELEVATIONS ARE SHOWN HEREON (SEE TABLE OF UNIT HORIZONTAL PLANS). CEILING ELEVATIONS WHEN UNITS MAY VARY IN ACCORDANCE WITH THE ARCHITECTURAL PLANS. TYPICALLY, BUT NOT ALWAYS, CEILING ELEVATIONS IN ALL UNITS ARE NINE (9) FEET ABOVE FLOOR ELEVATIONS. CEILING ELEVATION CRITERIA SET FORTH ABOVE MAY OVERLAP FROM VARIOUS LOCATIONS AND ROOMS.
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4. THE DEFINITIONS AND RIGHTS RELATING TO "UNITS" AND "COMMON ELEMENTS" AND "LIMITED COMMON ELEMENTS" ARE SET FORTH IN THE DECLARATION OF CONDOMINIUM AND OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR CARINO VILLAS.
5. ALL HORIZONTAL ANGLES OF THE UNITS, ETC., AS SHOWN HEREON, ARE RIGHT ANGLES (90°) OR FORTY FIVE DEGREE (45°) ANGLES.

| NO. | DATE | REVISIONS |
|-----|------|-----------|
| | | |
| | | |
| | | |

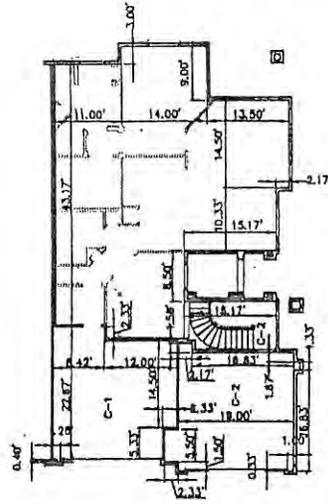
FINAL PLAN
OF
CARINO VILLAS
CONDOMINIUM
CHANDLER, ARIZONA

Metro/Land Consultants, LLC
DESIGNER: SF
CHECKED: SF
DATE: NOVEMBER 2005
DRAFTING: PCW
DATE: NOVEMBER 2005
TYPICAL BUILDING PLANS

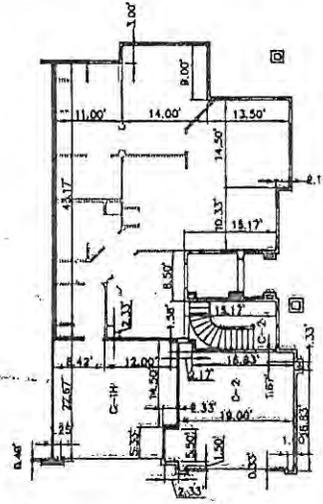
SCALE
401-263-1100
Plus Street Center
CALL COLLECT



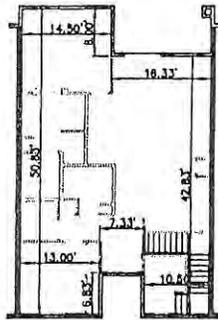
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TYPICAL BUILDING GROUND LEVEL
SCALE 1" = 10'



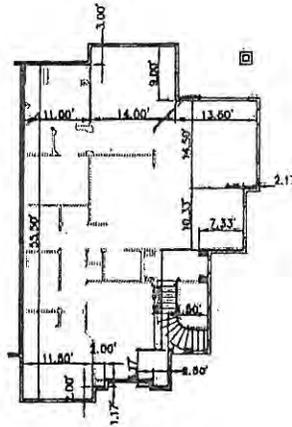
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TYPICAL BUILDING GROUND LEVEL
SCALE 1" = 10'



UNIT C-1H / C-2 GARAGE
TYPICAL BUILDING GROUND LEVEL
SCALE 1" = 10'



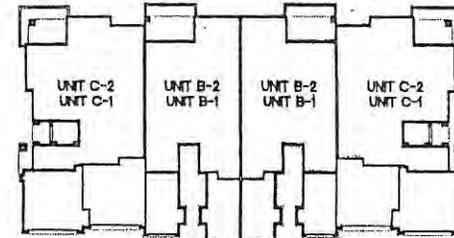
UNIT B-2
TYPICAL BUILDING UPPER LEVEL
SCALE 1" = 10'



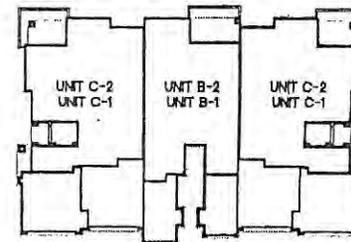
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NOTES

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BUILDING TYPE 2
SCALE 1" = 20'



BUILDING TYPE 1
SCALE 1" = 20'

| NO. | DATE | DESCRIPTION | REVISIONS |
|-----|------|-------------|-----------|
| | | | |
| | | | |
| | | | |

FINAL PLAN
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CONDOMINIUM
CHANDLER, ARIZONA

Metro/Land Consultants, LLC
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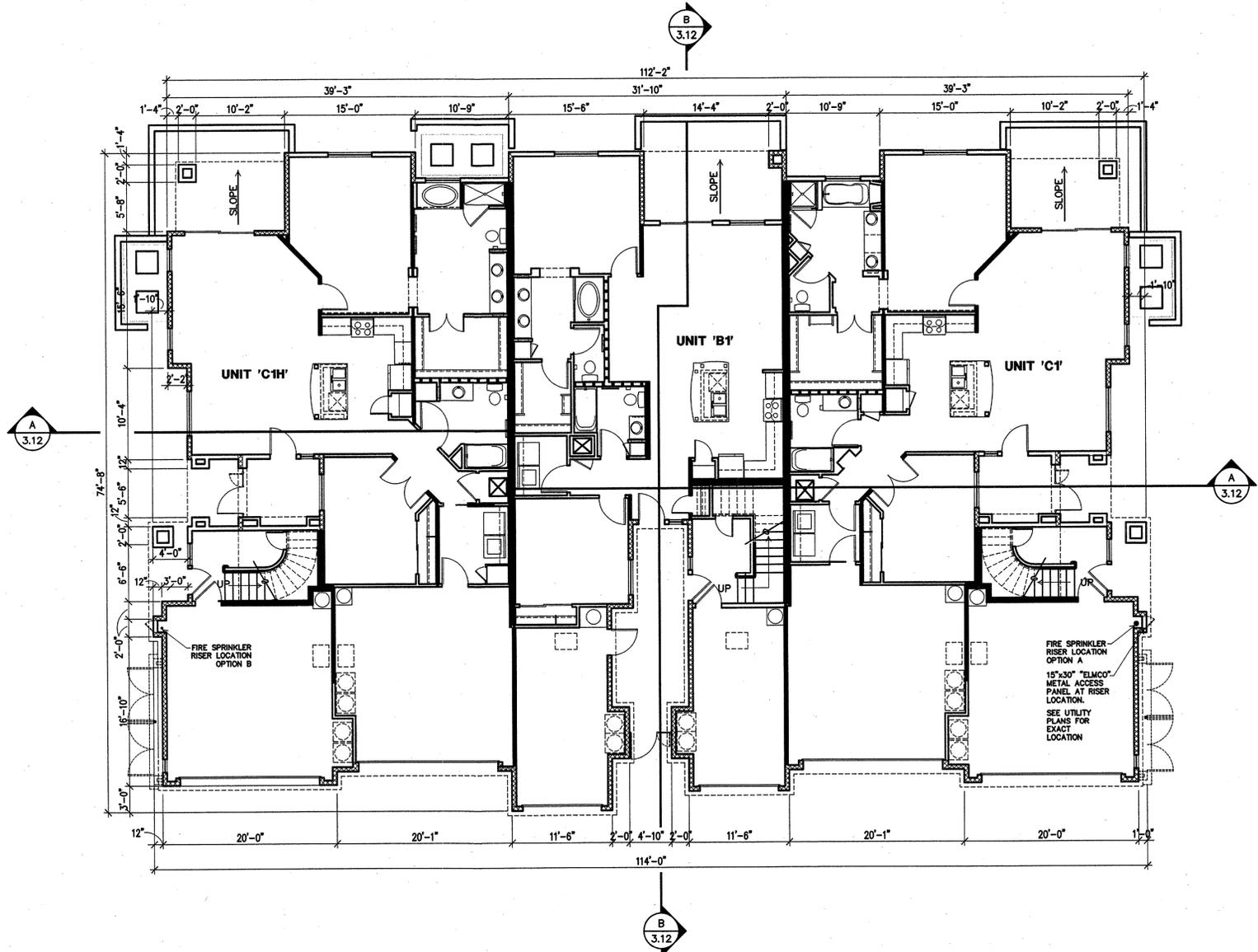
SCALE

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 (480)907-2448
 and the owner or its designated agent shall provide this written description on request.



1st FLOOR PLAN - BUILDING TYPE 1

SCALE: 1/8" = 1'-0"

GENERAL NOTES

- GYPSUM BOARD REQUIREMENTS MAY SUPERCEDE OR BE IN ADDITION TO THOSE FOR SHEAR WALLS.
- SEE ELECTRICAL PLANS FOR LOCATION OF SMOKE DETECTORS.
- FURR OUT WALLS AS REQ'D. TO PROVIDE CONTINUOUS STUCCO SURFACE CORNER TO CORNER 1ST AND 2ND FLOORS.
- PROVIDE DRAFTSTOPPING IN FLOOR CEILING ASSEMBLIES AND ATTIC ABOVE AND IN LINE WITH PARTYWALLS SEPARATING EACH DWELLING UNIT. DRAFTSTOPPING SHALL BE A MIN. OF 1/2" GYP. BD., REFER TO DETAILS 37/5.12
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- VERIFY METER LOCATIONS WITH ELECTRICAL SITE PLAN. REFER TO DETAIL 59/5.14 FOR GATES WHERE OCCUR.
- REFER TO SHEET 6.10 STAIR PLANS AND DETAILS, TYPICAL.
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- DESIGNATES AN INTERIOR BEARING PARTY WALL ASSEMBLY (11/5.11)
- DESIGNATES AN INTERIOR NON-BEARING PARTY WALL ASSEMBLY (37/5.12)

- 3 10/17/05 CITY REDLINES/REVISIONS
- 2 8/15/05 ARCHITECT REVISION
- 1 8/15/05 CITY REDLINES/REVISIONS



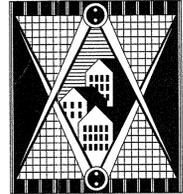
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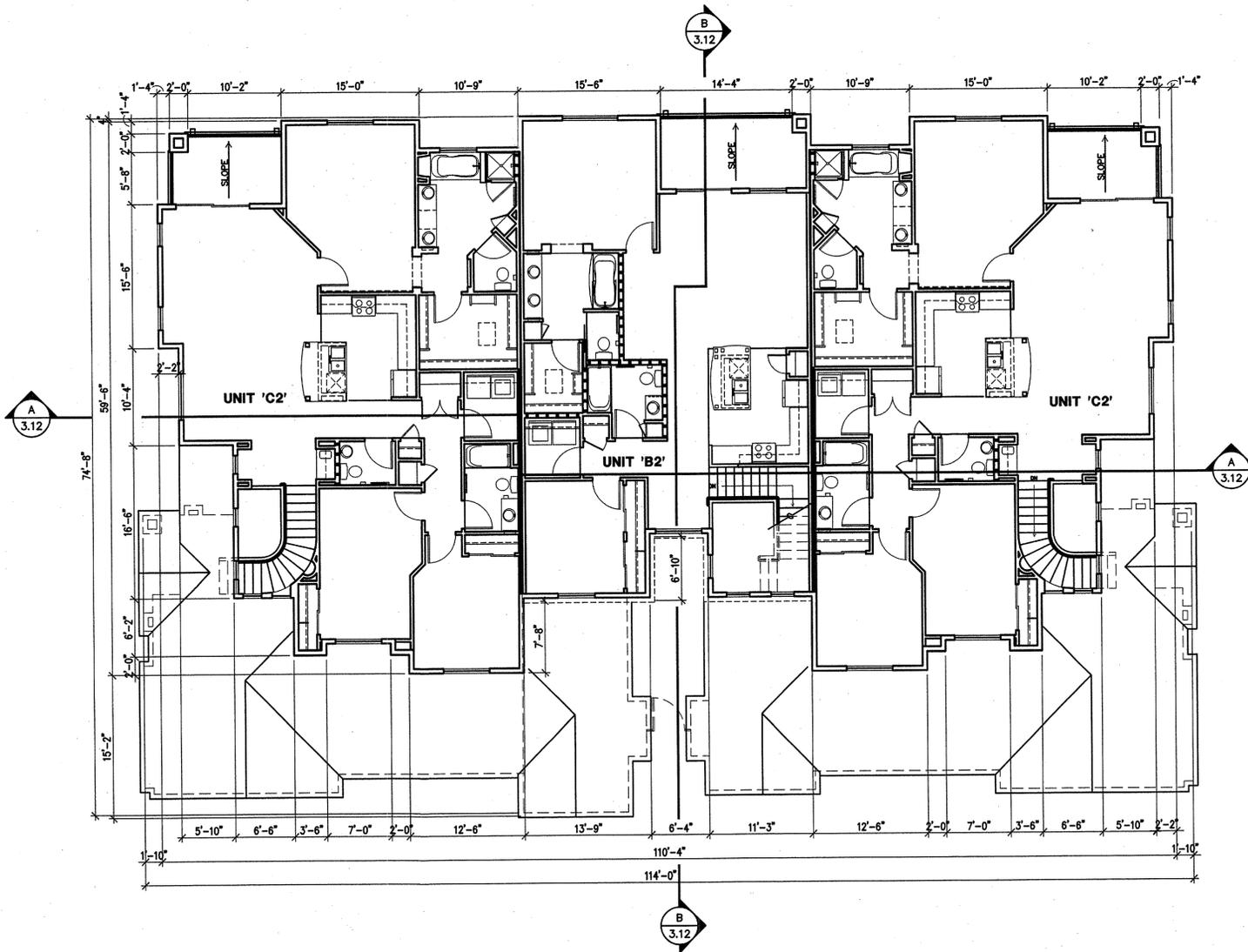
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1st FLOOR PLAN
BUILDING TYPE 1

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2nd FLOOR PLAN - BUILDING TYPE 1

SCALE: 1/8" = 1'-0"

GENERAL NOTES

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3. FURR OUT WALLS AS REQ'D. TO PROVIDE CONTINUOUS STUCCO SURFACE CORNER TO CORNER 1ST AND 2ND FLOORS.
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- 3 10/17/05 CITY REDLINES/REVISIONS
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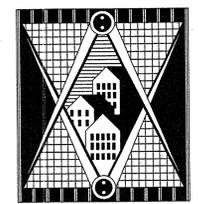


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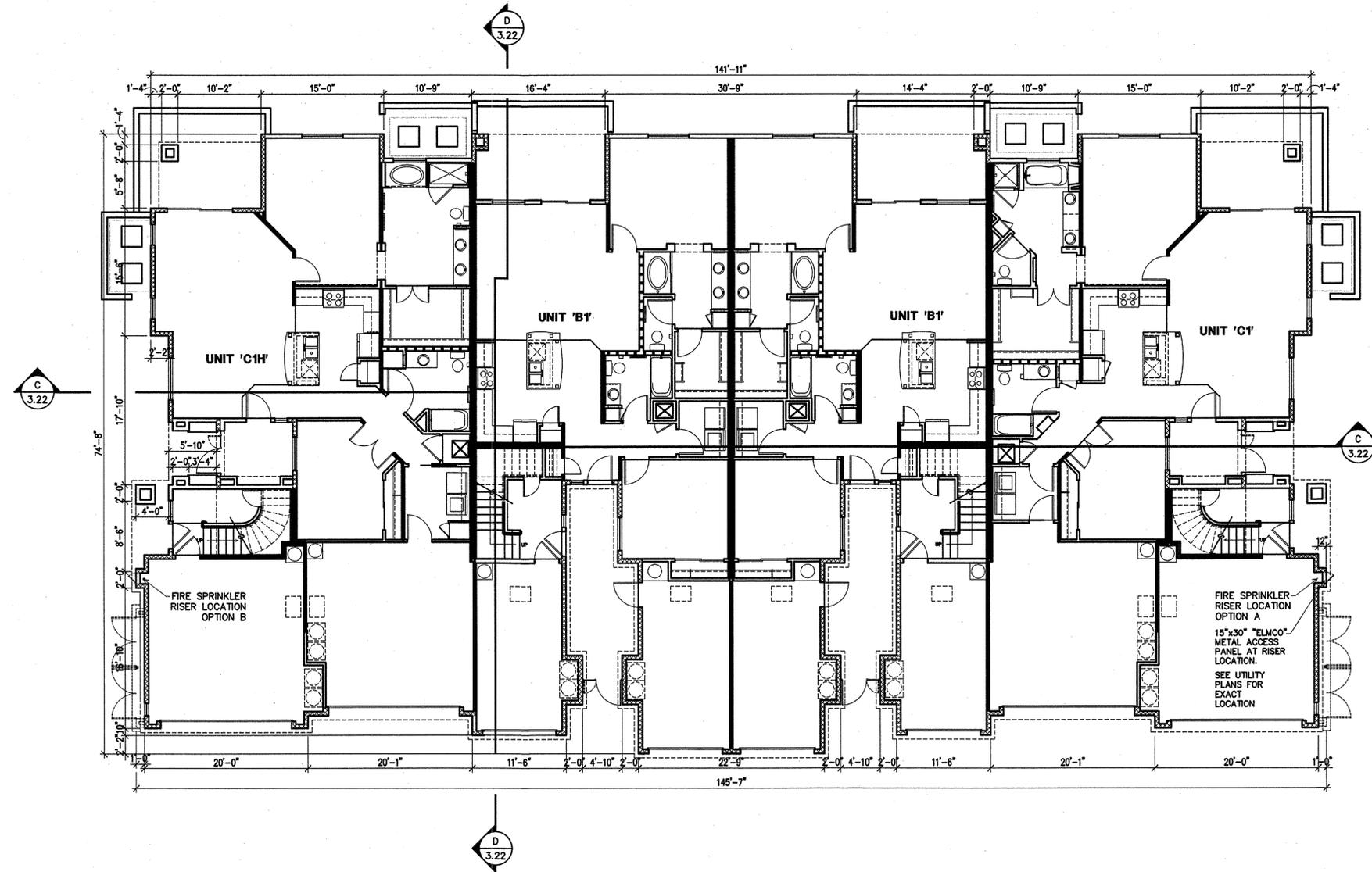
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2nd FLOOR PLAN
BUILDING TYPE 1

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1st FLOOR PLAN - BUILDING TYPE 2

SCALE: 1/8" = 1'-0"

GENERAL NOTES

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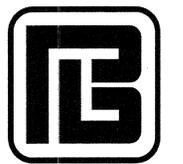
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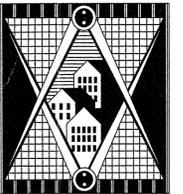
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1st FLOOR PLAN
BUILDING TYPE 2

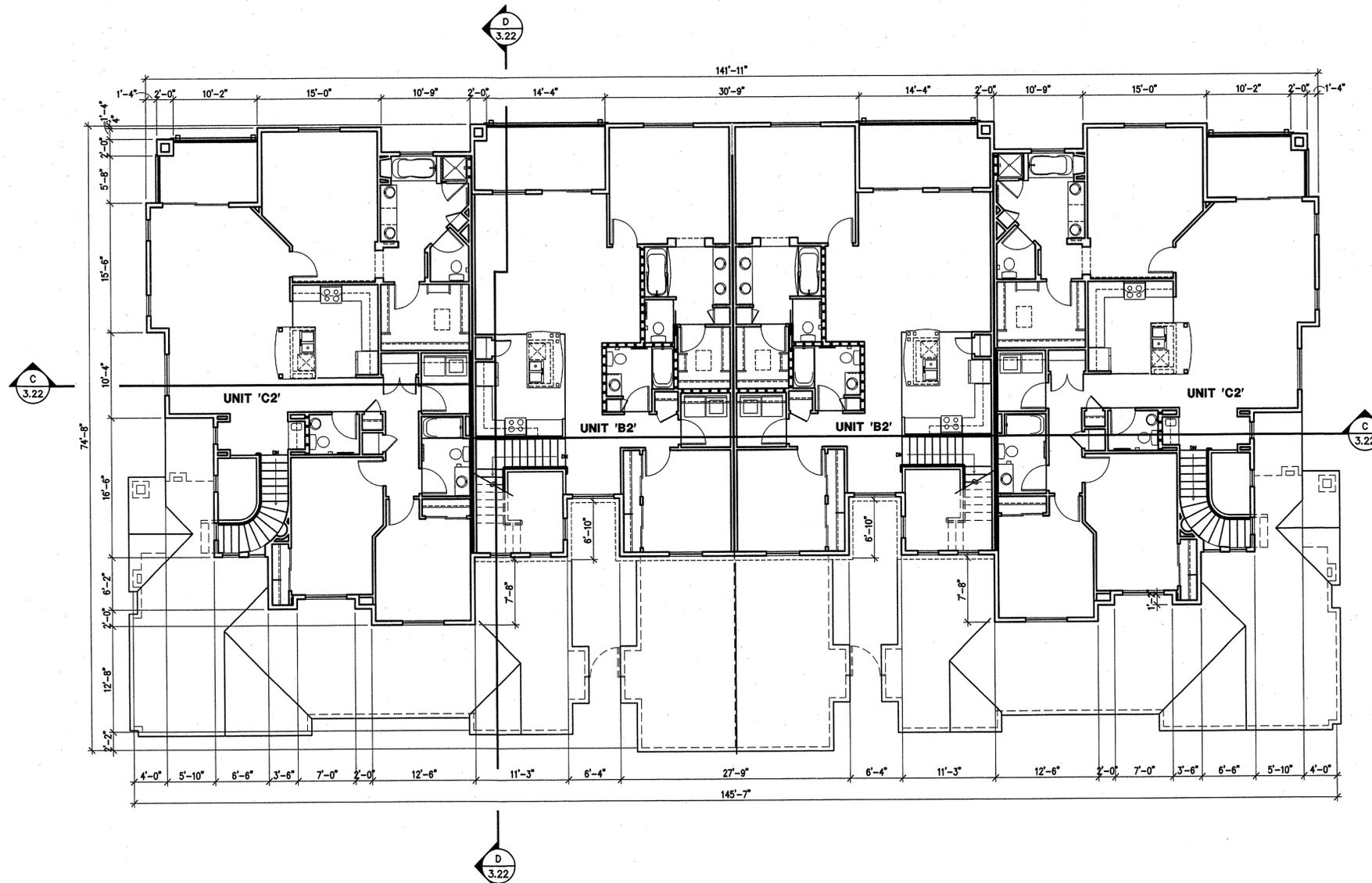
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2nd FLOOR PLAN - BUILDING TYPE 2

SCALE: 1/8" = 1'-0"

GENERAL NOTES

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- △ 8/15/05 ARCHITECT REVISION
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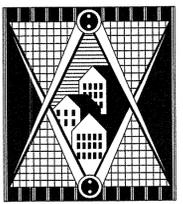
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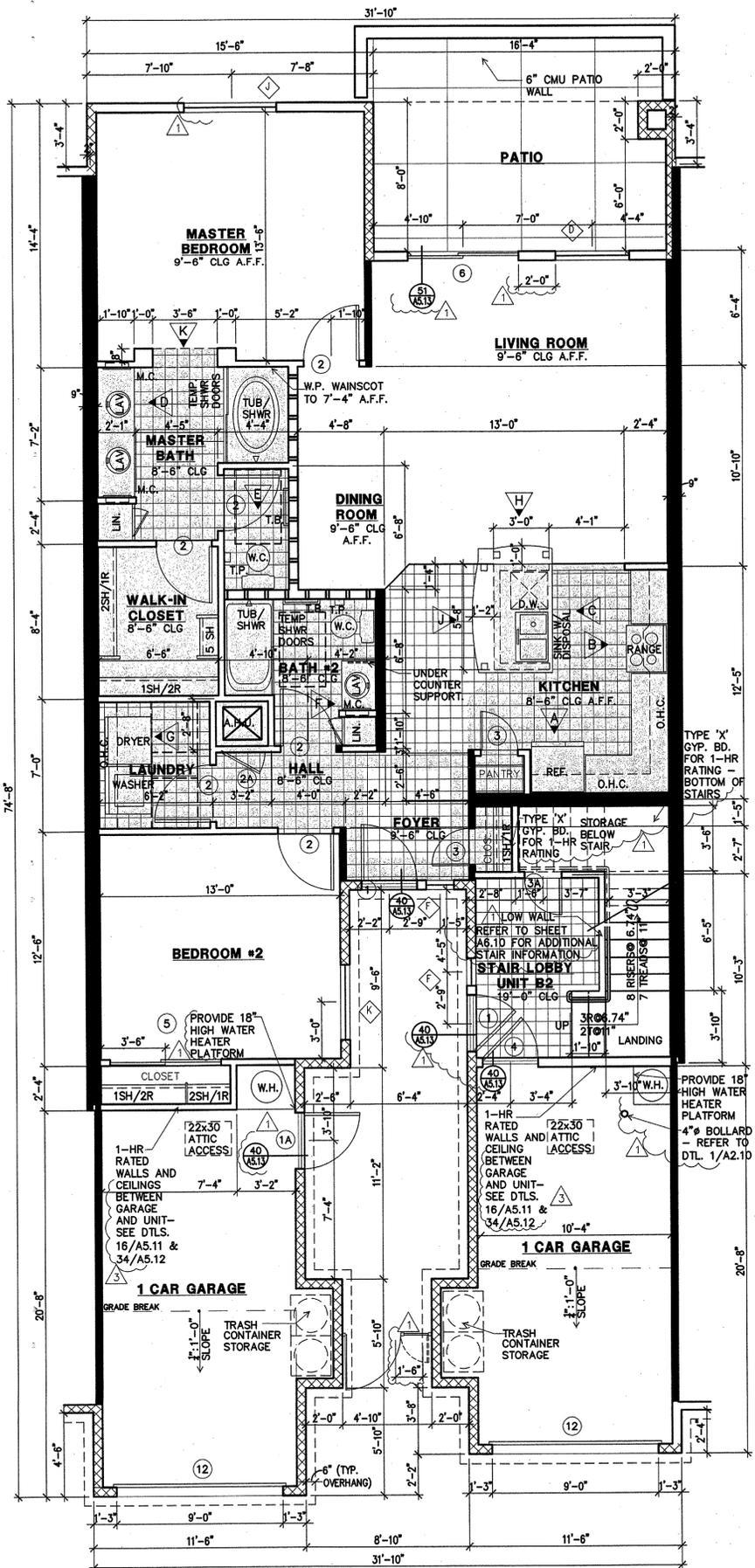
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**2nd FLOOR PLANS
BUILDING TYPE 2**



FLOOR PLAN - UNIT B1

(GROUND FLOOR) 1302 SQFT. LIVABLE
153 SQFT. PATIO
1455 SQFT. TOTAL
SCALE: 1/4" = 1'-0"

ROOM FINISH SCHEDULE - UNIT A2a

| ROOM | FLOOR | BASE | WALL | CEILING | REMARKS |
|---------------------|-------|------|------|---------|--------------------------|
| LIVING ROOM | 1 | 3 | 4 | 4 | ALT.#1 HARDWOOD FLOORING |
| DINING ROOM | 1 | | | | ALT.#2 CERAMIC TILE |
| KITCHEN | 6 | | | | |
| MASTER BEDROOM | 1 | | | | |
| MASTER BATH | 6 | | | | |
| WALK-IN CLOSET | 1 | | | | |
| BATH #2 | 6 | | | | |
| LAUNDRY | 6 | | | | |
| BEDROOM #2 | 1 | | | | |
| FOYER | 6 | | | | |
| CLOSET | 6 | | | | |
| PANTRY | 6 | | | | |
| STAIR LOBBY (LOWER) | 6 | | | | |

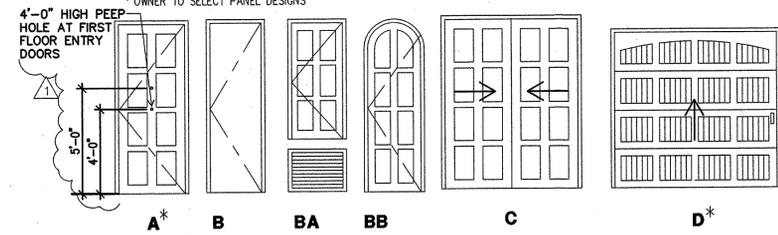
FINISH SCHEDULE KEY

- CARPET
- SHEET VINYL
- COLONIAL WOOD BASE
- TEXTURE AS APPROVED BY OWNER - ONE COAT OF PAINT WITH EGGSHELL FINISH ON WALLS, ONE COAT OF PAINT WITH EGGSHELL FINISH ON CEILINGS.
- CONCRETE
- CERAMIC TILE
- NONE

DOOR SCHEDULE - UNITS B1-C1H

| NO. | SIZE | TYPE | MATERIAL | FRAME | REMARKS |
|-----|----------------------------|------|-------------------------------|-------|--|
| 1 | 3'-0" x 8'-0" x 1 3/4" | A | S.C. WOOD - STYLE BY OWNER | WOOD | W/THRESHOLD AND PEEP HOLE - SEE DOOR TYPE A FOR HEIGHT |
| 1A | 3'-0" x 8'-0" x 1 3/4" | A | H.C. METAL - STYLE BY OWNER | WOOD | |
| 2 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 2A | 2'-6" x 5'-6" x 1 3/8" | BA | H.C. TEMPERED HARD BOARD | WOOD | PLACED ON HVAC RETURN PLENUM |
| 3 | 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 3A | 2'-0" x 6'-8" x 1 3/4" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 4 | 3'-0" x 8'-0" x 1 3/4" | B | S.C. WOOD (1 HOUR FIRE RATED) | WOOD | SELF-CLOSER W/ THRESHOLD |
| 5 | (2) 3'-0" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 6 | 6'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 7 | 8'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 8 | (2) 2'-6" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 9 | 2'-10" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 10 | (2) 2'-6" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 11 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | POCKET DOOR |
| 12 | 9'-0" x 7'-0" | D | METAL - 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 13 | 16'-0" x 7'-0" | D | METAL - 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 14 | (2) 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |

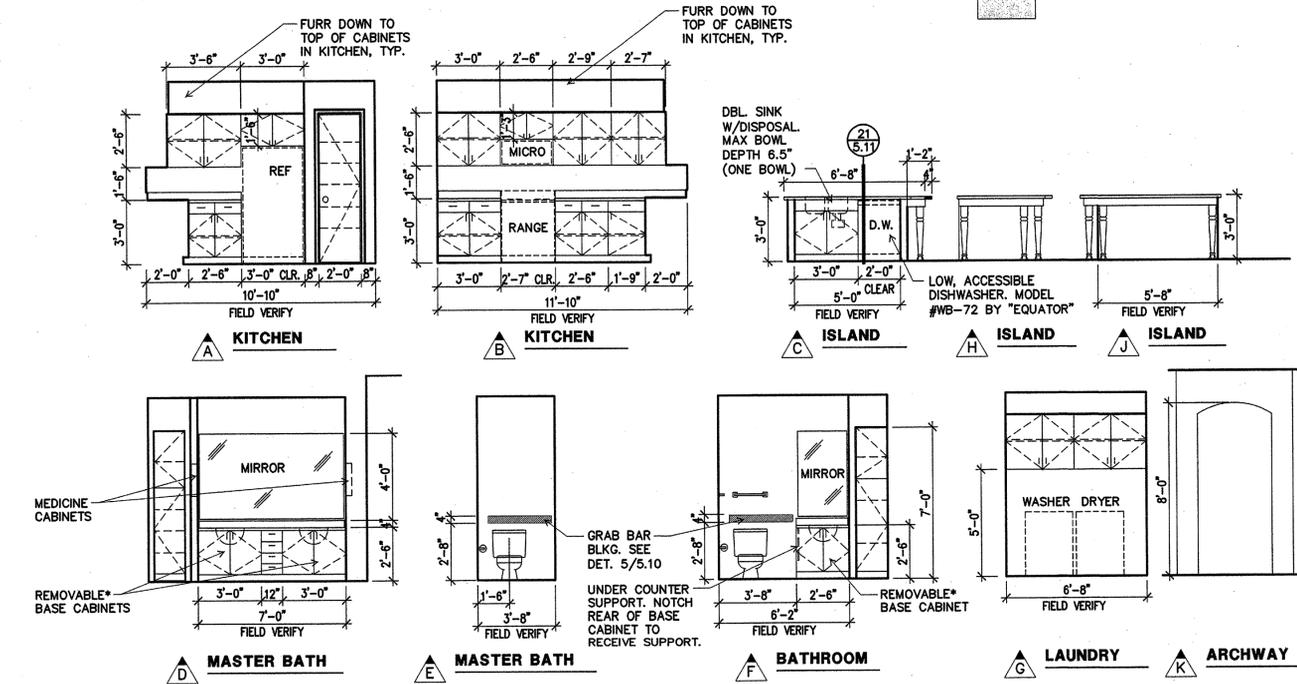
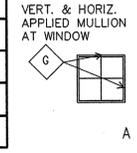
DOOR TYPES



WINDOW SCHEDULE

| DESIGNATION | SIZE | TYPE | DESIGNATION | SIZE | TYPE |
|-------------|-----------------------|------|-------------|-----------------------|------|
| A | 2626 FIXED | A | G | 1616 FIXED | A |
| B | 2636 FIXED | A | H | 2036 SH | B |
| C | 2646 FIXED | A | K | 5050 XO | C |
| D | 4050 XO | C | K* | 4050 FIXED (TEMPERED) | A |
| E | 2050 FIXED | A | L | 5050 XO | C |
| F | 1650 FIXED (TEMPERED) | A | M | 6050 XO | C |

* WINDOW GLAZING TO BE FROSTED OR OTHERWISE OBSCURED FOR PRIVACY.



INTERIOR ELEVATIONS UNIT B1

SCALE 1/4" = 1'-0"

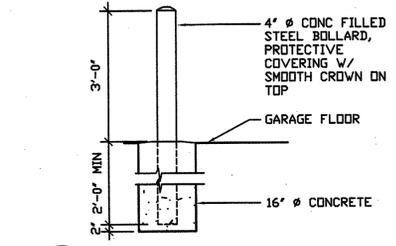
*NOTE: WHERE REMOVABLE BASE CABINETS OCCUR THEY SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE COUNTER OR SINK AND THE FINISH FLOOR MATERIAL SHALL EXTEND UNDER TO THE WALL AND ADJACENT PERMANENT CABINETS. SEE ACCESSIBLE UNIT NOTES THIS SHEET.

NOTES

- INSULATE ALL SECOND FLOOR WASTE LINES IN FIRST FLOOR WALLS AND CEILING.
- PROVIDE BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT 2'-10" A.F.F. BEHIND FIRST FLOOR TUBS, SHOWERS AND TOILET.
- REFER TO ELECTRICAL PLANS FOR SMOKE DETECTOR LOCATIONS, TYPICAL.
- FRAMING CONTRACTOR TO PROVIDE 2x4 MIN. SOLID BLOCKING AT ALL WALL MOUNTED ACCESSORIES.
- EXTERIOR OPENINGS SHALL BE FLASHED IN ACCORDANCE WITH DETAIL 61/5.14
- PRVIDE SCREENS AT OPERABLE WINDOWS
- ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OF 5.7 SQ. FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". THE FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44" A.F.F.
- ALL TOPS OF WINDOWS SHALL BE AT 8'-0" A.F.F. UNLESS NOTED OTHERWISE.
- CAULK BASE AND CARPET METAL EDGE ALL FOUR SIDES OF LAUNDRY ROOM.
- CLOTHES WASHER SHALL ALWAYS BE TO THE LEFT OF THE CLOTHES DRYER. COORDINATE AT REVERSE PLANS. (TYP.)
- INTERIOR DRYWALL CONSTRUCTION SHALL BE PROVIDED WITH 3/4" BULLNOSE AT EXTERNAL CORNERS ONLY, EXCEPT AT WINDOWS.
- NOT USED
- ALL CLOSET SHELVES SHALL BE MTD. +84" AND +66". (ALL UNITS TYP.) CLOSET RODS AT 1SH/2R MTD. +81" AND +40". CLOSET ROD AT 2SH/1R MTD. +63".
- PROVIDE HAND HELD FIRE EXTINGUISHER BELOW KITCHEN SINK.
- ALL ANGLES ARE 45°, UNLESS NOTED OTHERWISE.
- PER IBC 2003 TABLE 302.3.2: 1-HR. RATED WALL AND CEILING ASSEMBLY IS REQUIRED BETWEEN ALL GARAGES AND DWELLING UNITS PER DETAILS 16/5.11 AND 34/5.12. SEE OVERALL BUILDING TYPE PLANS FOR LEGEND OF RATED WALL LOCATIONS.

LEGENDS

- DOOR SYMBOL - SEE DOOR SCHEDULE THIS SHEET.
- WINDOW SYMBOL - SEE WINDOW SCHEDULE THIS SHEET
- INTERIOR ELEVATION SYMBOL - SEE INTERIOR ELEVATIONS THIS SHEET.
- DESIGNATES AN INTERIOR NON-BEARING 2 X 6 STUD WALL
- DESIGNATES AN INTERIOR BEARING 2 X 6 STUD WALL
- DESIGNATES AN EXTERIOR NON-RATED 2 X 6 STUD WALL
- DESIGNATES AN EXTERIOR BEARING 2 X 6 STUD WALL
- DESIGNATES AN INTERIOR BEARING 2 X 4 STUD WALL
- DESIGNATES AN INTERIOR NON-BEARING 2 X 4 STUD WALL
- DESIGNATES AN INTERIOR BEARING PARTY WALL ASSEMBLY
- DESIGNATES AN INTERIOR NON-BEARING PARTY WALL ASSEMBLY
- INDICATES FURRODOWN TO 12" BELOW ADJACENT CEILING - SEE INTERIOR ELEVATIONS THIS SHEET.



1 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"

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(480)907-2445
and the owner or its designated agent shall provide this written description on request.



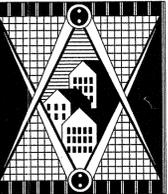
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(602)265-1891

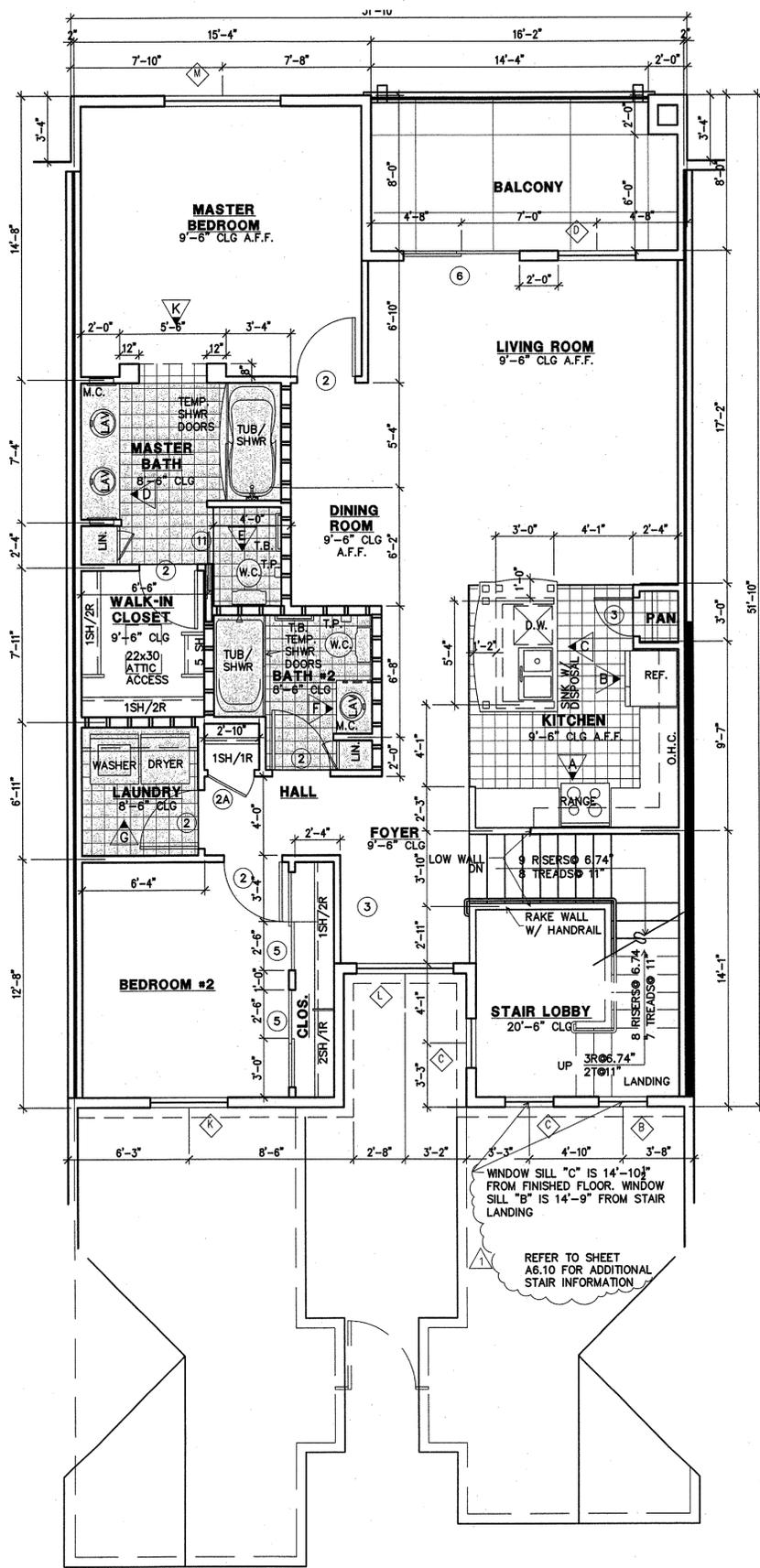


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FLOOR PLAN
UNIT B1



FLOOR PLAN - UNIT B2

(UPPER FLOOR)

1462 SQFT. LIVABLE
121 SQFT. BALCONY
1583 SQFT. TOTAL

SCALE: 1/4" = 1'-0"

ROOM FINISH SCHEDULE - UNIT B2

CONTRACTOR'S TO BID ALTERNATES SEPARATE FROM BASE BID.

| ROOM | FLOOR | BASE | WALL | CEILING | REMARKS |
|---------------------|-------|------|------|---------|--------------------------|
| LIVING ROOM | 1 | 3 | 4 | 4 | ALT.#1 HARDWOOD FLOORING |
| DINING ROOM | 1 | | | | ALT.#2 CERAMIC TILE |
| KITCHEN | 6 | | | | |
| MASTER BEDROOM | 1 | | | | |
| MASTER BATH | 6 | | | | |
| WALK-IN CLOSET | 1 | | | | |
| BATHROOM | 6 | | | | |
| LAUNDRY | 6 | | | | |
| HALL | 1 | | | | |
| BEDROOM #2 | 1 | | | | |
| FOYER | 1 | | | | |
| CLOSET | 1 | | | | |
| LINEN | 6 | | | | |
| PANTRY | 6 | | | | |
| STAIR LOBBY (UPPER) | 1 | | | | |

FINISH SCHEDULE KEY

- CARPET
- SHEET VINYL
- COLONIAL WOOD BASE
- TEXTURE AS APPROVED BY OWNER - ONE COAT OF PAINT WITH EGGSHELL FINISH ON WALLS. ONE COAT OF PAINT WITH EGGSHELL FINISH ON CEILINGS.
- CONCRETE
- CERAMIC TILE
- NONE

WINDOW SCHEDULE

| DESIGNATION | SIZE | TYPE | DESIGNATION | SIZE | TYPE |
|-------------|-----------------------|------|-------------|-----------------------|------|
| A | 2626 FIXED | A | G | 1616 FIXED | A |
| B | 2636 FIXED | A | H | 2036 FIXED | A |
| C | 2646 FIXED | A | J | 5050 XO | C |
| D | 4050 XO | C | K* | 4050 FIXED (TEMPERED) | A |
| E | 2050 FIXED | A | L | 5050 XO | C |
| F | 1650 FIXED (TEMPERED) | A | M | 6050 XO | C |

* WINDOW GLAZING TO BE FROSTED OR OTHERWISE OBSCURED FOR PRIVACY.

DOOR SCHEDULE UNITS B2-C2

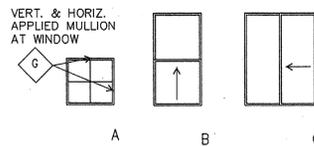
| NO. | SIZE | TYPE | MATERIAL | FRAME | REMARKS |
|-----|----------------------------|------|---------------------------|-------|----------------------------|
| 1 | 3'-0" x 8'-0" x 1 3/4" | A | 6 PANEL METAL | WOOD | W/ THRESHOLD AND PEEP HOLE |
| 2 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |
| 3 | 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |
| 3A | 2'-0" x 6'x8" x 1 3/4" | BB | H.C. TEMPERED HARD BOARD | WOOD | 1/2 ROUND PROFILE |
| 4 | 3'-0" x 8'-0" x 1 3/4" | B | S.C. WOOD | WOOD | SELF-CLOSER W/ THRESHOLD |
| 5 | (2) 3'-0" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 6 | 6'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 7 | 8'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 8 | (2) 2'-6" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |
| 9 | 2'-8" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |
| 10 | (2) 2'-6" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 11 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | POCKET DOOR |
| 12 | 8'-6" x 7'-0" | D | METAL - 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 13 | 16'-0" x 7'-0" | D | METAL - 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 14 | (2) 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |

NOTES

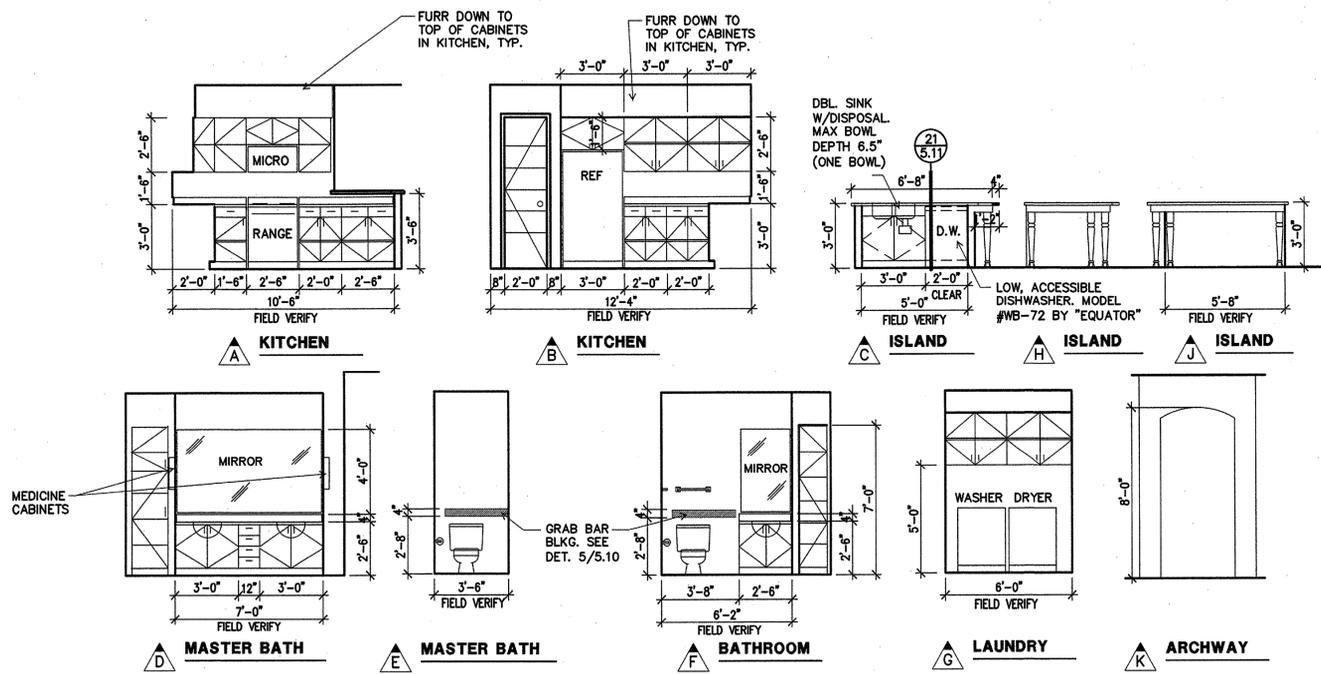
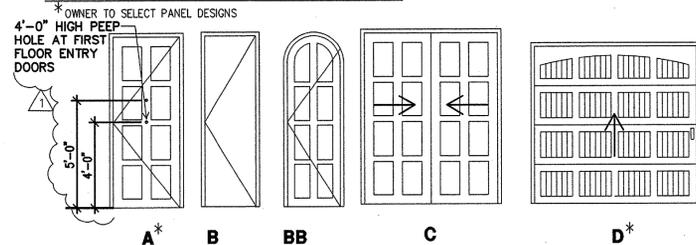
SEE SHEET 2.10

LEGENDS

- DOOR SYMBOL - SEE DOOR SCHEDULE THIS SHEET.
- WINDOW SYMBOL - SEE WINDOW SCHEDULE THIS SHEET.
- INTERIOR ELEVATION SYMBOL - SEE INTERIOR ELEVATIONS THIS SHEET.
- DESIGNATES AN INTERIOR NON-BEARING 2 X 6 STUD WALL.
- DESIGNATES AN INTERIOR BEARING 2 X 6 STUD WALL.
- DESIGNATES AN EXTERIOR NON-RATED 2 X 6 STUD WALL.
- DESIGNATES AN EXTERIOR BEARING 2 X 6 STUD WALL.
- DESIGNATES AN INTERIOR BEARING 2 X 4 STUD WALL.
- DESIGNATES AN INTERIOR NON-BEARING 2 X 4 STUD WALL.
- DESIGNATES AN INTERIOR BEARING PARTY WALL ASSEMBLY.
- DESIGNATES AN INTERIOR NON-BEARING PARTY WALL ASSEMBLY.
- INDICATES FURRDOWN TO 12" BELOW ADJACENT CEILING - SEE INTERIOR ELEVATIONS THIS SHEET.



DOOR TYPES



INTERIOR ELEVATIONS UNIT B2

SCALE: 1/4" = 1'-0"

*NOTE: WHERE REMOVABLE BASE CABINETS OCCUR THEY SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE COUNTER OR SINK AND THE FINISH FLOOR MATERIAL SHALL EXTEND UNDER TO THE WALL AND ADJACENT PERMANENT CABINETS. SEE ACCESSIBLE UNIT NOTES THIS SHEET.

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- 10/17/05 CITY REDLINES/REVISIONS
- 8/15/05 ARCHITECT REVISION
- 8/15/05 CITY REDLINES/REVISIONS

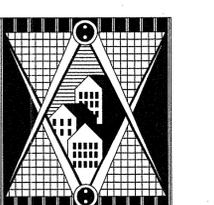
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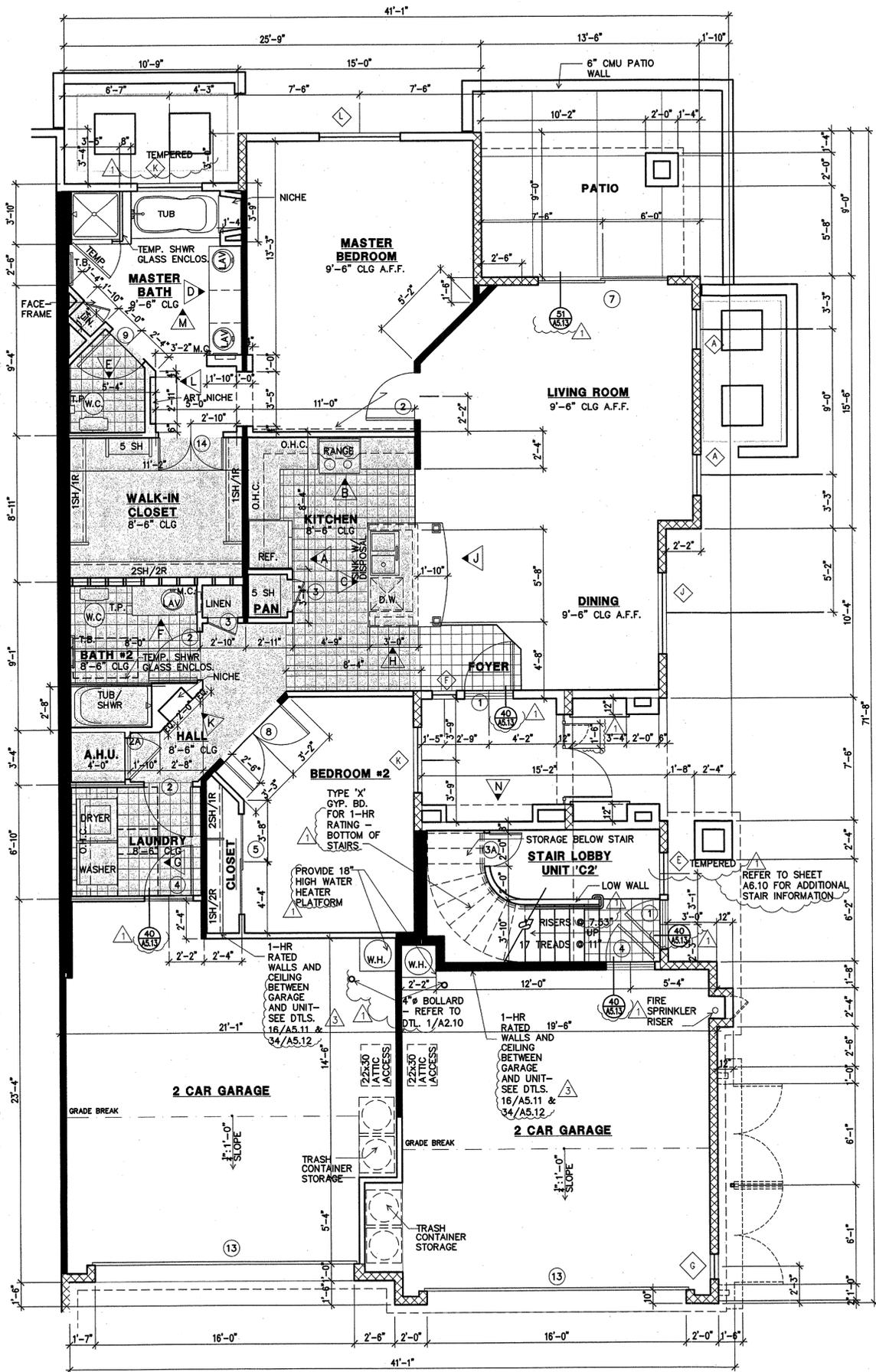
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MAY 2005



FLOOR PLAN
UNIT B2



FLOOR PLAN - UNIT C1

(GROUND FLOOR)
 1498 SQFT. LIVABLE
 159 SQFT. PATIO
 1657 SQFT. TOTAL

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE - UNITS B1-C1H

| NO. | SIZE | TYPE | MATERIAL | FRAME | REMARKS |
|-----|----------------------------|------|-------------------------------|-------|--|
| 1 | 3'-0" x 8'-0" x 1 3/4" | A | S.C. WOOD-STYLE BY OWNER | WOOD | W/THRESHOLD AND PEEP HOLE - (SEE DOOR TYPE A FOR HEIGHT) |
| 1A | 3'-0" x 8'-0" x 1 3/4" | A | H.C. METAL-STYLE BY OWNER | WOOD | |
| 2 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 2A | 2'-6" x 5'-6" x 1 3/8" | BA | H.C. TEMPERED HARD BOARD | WOOD | PLACED ON HVAC RETURN PLENUM |
| 3 | 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 3A | 2'-0" x 6'-8" x 1 3/4" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 4 | 3'-0" x 8'-0" x 1 3/4" | B | S.C. WOOD (1 HOUR FIRE RATED) | WOOD | SELF-CLOSER W/ THRESHOLD |
| 5 | (2) 3'-0" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 6 | 6'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 7 | 8'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 8 | (2) 2'-6" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 9 | 2'-10" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 10 | (2) 2'-6" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 11 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | POCKET DOOR |
| 12 | 9'-0" x 7'-0" | D | METAL- 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 13 | 16'-0" x 7'-0" | D | METAL- 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 14 | (2) 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |

ROOM FINISH SCHEDULE - UNIT C1

CONTRACTOR'S TO BID ALTERNATES SEPARATE FROM BASE BID.

| ROOM | FLOOR | BASE | WALL | CEILING | REMARKS |
|---------------------|-------|------|------|---------|----------------------------|
| LIVING ROOM | 1 | 3 | 4 | 4 | ALT.#1 HARDWOOD FLOORING |
| DINING ROOM | 1 | | | | ALT.#2 CERAMIC TILE |
| KITCHEN | 6 | | | | |
| MASTER BEDROOM | 1 | | | | |
| MASTER BATH | 1,6 | | | | OPTIONAL FULL C.T. PACKAGE |
| WALK-IN CLOSET | 1 | | | | |
| BATH #2 | 6 | | | | |
| LAUNDRY | 6 | | | | |
| HALL | 1 | | | | |
| BEDROOM #2 | 1 | | | | |
| FOYER | 6 | | | | |
| CLOSET | 6 | | | | |
| LENIN | 6 | | | | |
| STAIR LOBBY (LOWER) | 6 | | | | |

FINISH SCHEDULE KEY

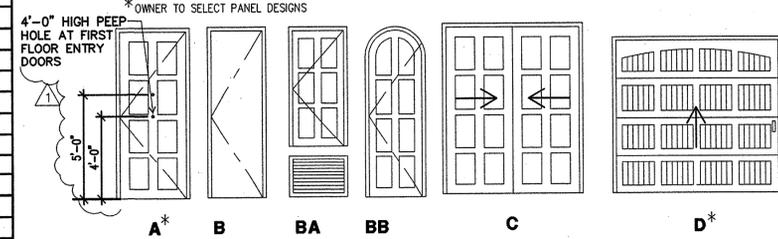
- CARPET
- SHEET VINYL
- COLONIAL WOOD BASE
- TEXTURE AS APPROVED BY OWNER - ONE COAT OF PAINT WITH EGGSHELL FINISH ON WALLS. ONE COAT OF PAINT WITH EGGSHELL FINISH ON CEILINGS.
- CONCRETE
- CERAMIC TILE
- NONE

WINDOW SCHEDULE

| DESIGNATION | SIZE | TYPE | DESIGNATION | SIZE | TYPE |
|-------------|-----------------------|------|-------------|-----------------------|------|
| A | 2626 FIXED | A | G | 1616 FIXED | A |
| B | 2636 FIXED | A | H | 2036 SH | B |
| C | 2646 FIXED | A | J | 5050 XO | C |
| D | 4050 XO | C | K | 4050 FIXED (TEMPERED) | A |
| E | 2050 FIXED | A | L | 5050 XO | C |
| F | 1650 FIXED (TEMPERED) | A | M | 6050 XO | C |

* WINDOW GLAZING TO BE FROSTED OR OTHERWISE OBSCURED FOR PRIVACY.

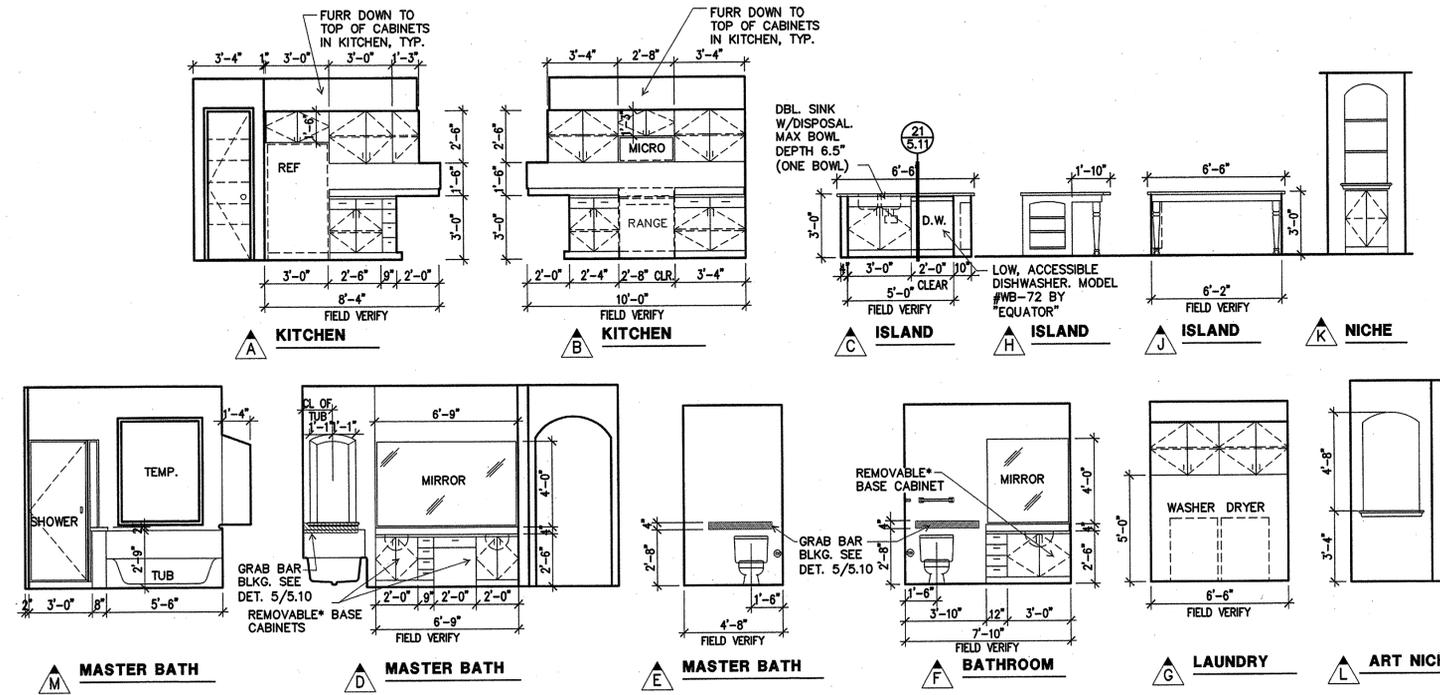
DOOR TYPES



NOTES
SEE SHEET 2.10

LEGENDS

- 1 DOOR SYMBOL - SEE DOOR SCHEDULE THIS SHEET.
- A WINDOW SYMBOL - SEE WINDOW SCHEDULE THIS SHEET.
- A INTERIOR ELEVATION SYMBOL - SEE INTERIOR ELEVATIONS THIS SHEET.
- DESIGNATES AN INTERIOR NON-BEARING 2 X 6 STUD WALL (16/31)
- DESIGNATES AN INTERIOR BEARING 2 X 6 STUD WALL (16/31)
- DESIGNATES AN EXTERIOR NON-RATED 2 X 6 STUD WALL (23/31)
- DESIGNATES AN EXTERIOR BEARING 2 X 6 STUD WALL (16/31)
- DESIGNATES AN INTERIOR BEARING 2 X 4 STUD WALL (16/31)
- DESIGNATES AN INTERIOR NON-BEARING 2 X 4 STUD WALL (16/31)
- DESIGNATES AN INTERIOR BEARING PARTY WALL ASSEMBLY (11/31)
- DESIGNATES AN INTERIOR NON-BEARING PARTY WALL ASSEMBLY (37/31)
- INDICATES FURRODOWN TO 12" BELOW ADJACENT CEILING - SEE INTERIOR ELEVATIONS THIS SHEET.



INTERIOR ELEVATIONS UNIT C1

SCALE 1/4" = 1'-0"

*NOTE: WHERE REMOVABLE BASE CABINETS OCCUR THEY SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE COUNTER OR SINK AND THE FINISH FLOOR MATERIAL SHALL EXTEND UNDER TO THE WALL AND ADJACENT PERMANENT CABINETS. SEE ACCESSIBLE UNIT NOTES THIS SHEET.

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 (480)607-2448
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- 8/15/05 ARCHITECT REVISION
- 8/15/05 CITY REDLINES/REVISIONS

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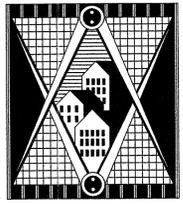


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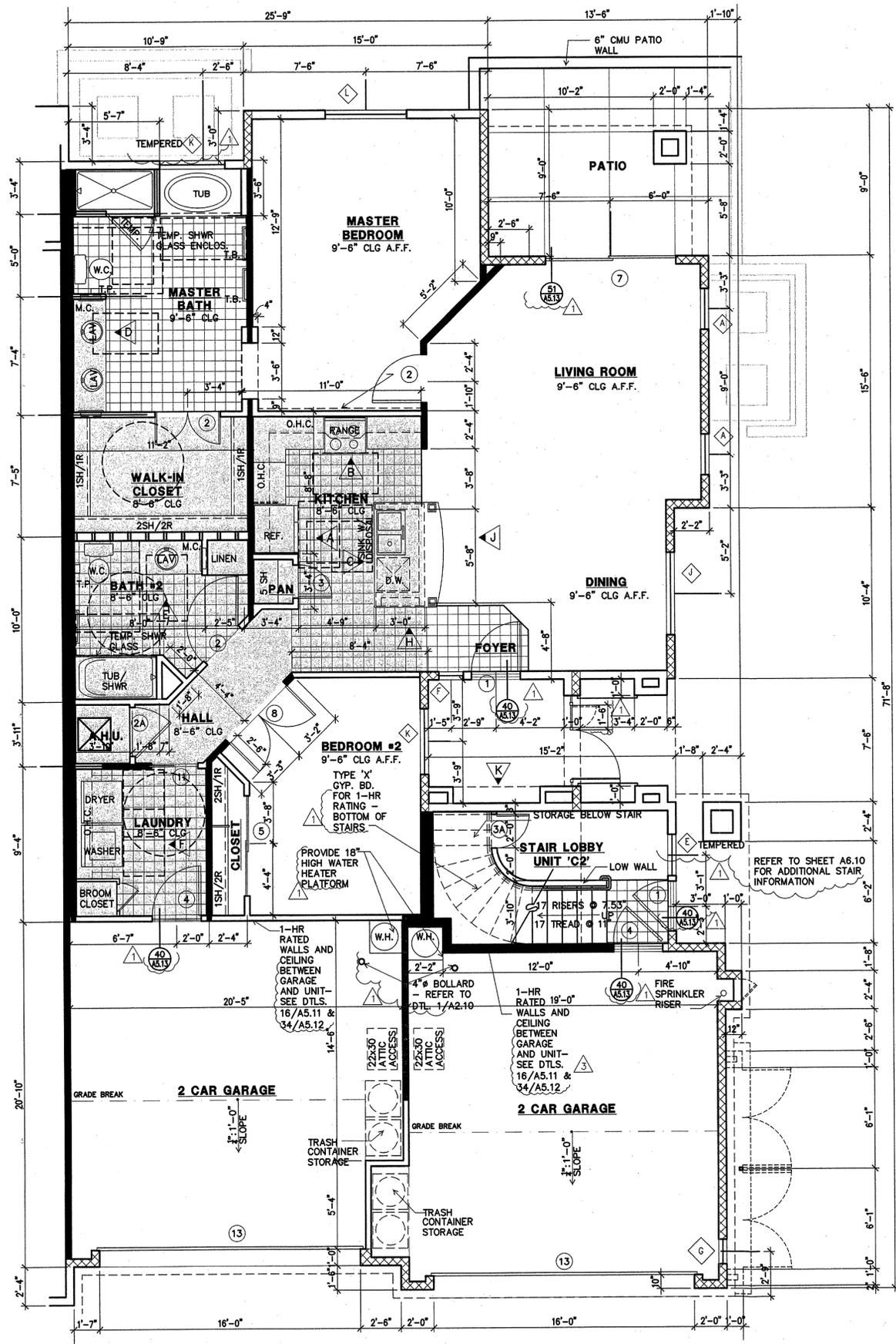


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 MAY 2005

FLOOR PLAN
UNIT C1



FLOOR PLAN - UNIT C1H
(GROUND FLOOR)

1498 SQFT. LIVABLE
159 SQFT. PATIO
1657 SQFT. TOTAL

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE - UNITS B1-C1H

| NO. | SIZE | TYPE | MATERIAL | FRAME | REMARKS |
|-----|----------------------------|------|-------------------------------|-------|--|
| 1 | 3'-0" x 8'-0" x 1 3/4" | A | S.C. WOOD-STYLE BY OWNER | WOOD | W/THRESHOLD AND PEEP HOLE - SEE DOOR TYPE A FOR HEIGHT |
| 1A | 3'-0" x 8'-0" x 1 3/4" | A | H.C. METAL-STYLE BY OWNER | WOOD | |
| 2 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 2A | 2'-6" x 5'-6" x 1 3/8" | BA | H.C. TEMPERED HARD BOARD | WOOD | PLACED ON HVAC RETURN PLENUM |
| 3 | 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 3A | 2'-0" x 6'-8" x 1 3/4" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 4 | 3'-0" x 8'-0" x 1 3/4" | B | S.C. WOOD (1 HOUR FIRE RATED) | WOOD | SELF-CLOSER W/ THRESHOLD |
| 5 | (2) 3'-0" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 6 | 6'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 7 | 8'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 8 | (2) 2'-6" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 9 | 2'-10" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |
| 10 | (2) 2'-6" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 11 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | POCKET DOOR |
| 12 | 9'-0" x 7'-0" | D | METAL- 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 13 | 16'-0" x 7'-0" | D | METAL- 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 14 | (2) 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | |

ROOM FINISH SCHEDULE - UNIT C1H
CONTRACTOR'S TO BID ALTERNATES SEPARATE FROM BASE BID.

| ROOM | FLOOR | BASE | WALL | CEILING | REMARKS |
|---------------------|-------|------|------|---------|--------------------------|
| LIVING ROOM | 1 | 3 | 4 | 4 | ALT.#1 HARDWOOD FLOORING |
| DINING ROOM | 1 | | | | ALT.#2 CERAMIC TILE |
| KITCHEN | 6 | | | | |
| MASTER BEDROOM | 1 | | | | |
| MASTER BATH | 6 | | | | |
| BATH #2 | 6 | | | | |
| LAUNDRY | 6 | | | | |
| HALL | 1 | | | | |
| BEDROOM #2 | 1 | | | | |
| FOYER | 6 | | | | |
| CLOSET | 6 | | | | |
| LENIN | 6 | | | | |
| STAIR LOBBY (LOWER) | 6 | | | | |

FINISH SCHEDULE KEY

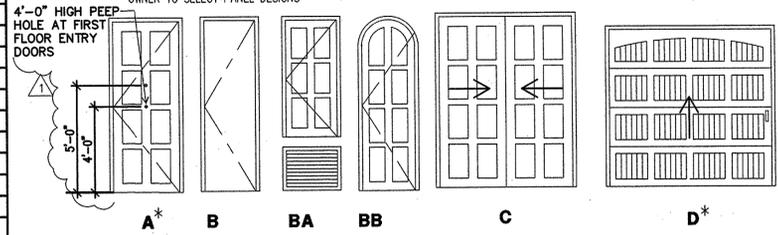
- CARPET
- SHEET VINYL
- COLONIAL WOOD BASE
- TEXTURE AS APPROVED BY OWNER - ONE COAT OF PAINT WITH EGGSHELL FINISH ON WALLS. ONE COAT OF PAINT WITH EGGSHELL FINISH ON CEILINGS.
- CONCRETE
- CERAMIC TILE
- NONE

WINDOW SCHEDULE

| DESIGNATION | SIZE | TYPE | DESIGNATION | SIZE | TYPE |
|-------------|-----------------------|------|-------------|-----------------------|------|
| A | 2626 FIXED | A | G | 1616 FIXED | A |
| B | 2636 FIXED | A | H | 2036 SH | B |
| C | 2646 FIXED | A | J | 5050 XO | C |
| D | 4050 XO | C | K* | 4050 FIXED (TEMPERED) | A |
| E | 2050 FIXED | A | L | 5050 XO | C |
| F | 1650 FIXED (TEMPERED) | A | M | 6050 XO | C |

* WINDOW GLAZING TO BE FROSTED OR OTHERWISE OBSCURED FOR PRIVACY.

DOOR TYPES

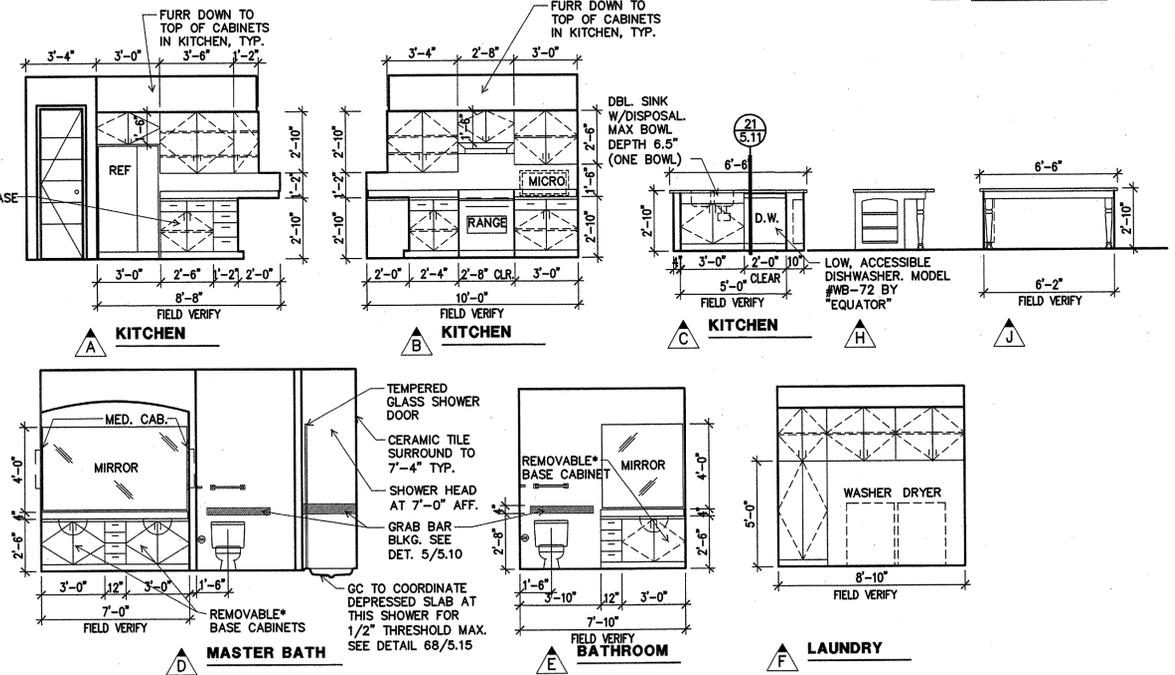
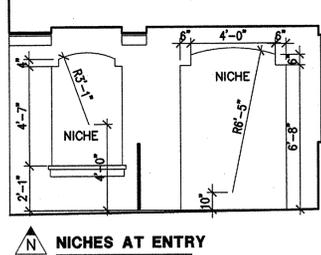


NOTES
SEE SHEET 2.10

- LEGENDS**
- DOOR SYMBOL - SEE DOOR SCHEDULE THIS SHEET.
 - WINDOW SYMBOL - SEE WINDOW SCHEDULE THIS SHEET.
 - INTERIOR ELEVATION SYMBOL - SEE INTERIOR ELEVATIONS THIS SHEET.
 - DESIGNATES AN INTERIOR NON-BEARING 2 X 6 STUD WALL
 - DESIGNATES AN INTERIOR BEARING 2 X 6 STUD WALL
 - DESIGNATES AN EXTERIOR BEARING 2 X 6 STUD WALL
 - DESIGNATES AN INTERIOR BEARING 2 X 4 STUD WALL
 - DESIGNATES AN INTERIOR NON-BEARING 2 X 4 STUD WALL
 - DESIGNATES AN INTERIOR BEARING PARTY WALL ASSEMBLY
 - DESIGNATES AN INTERIOR NON-BEARING PARTY WALL ASSEMBLY
 - INDICATES FURROW TO 12" BELOW ADJACENT CEILING - SEE INTERIOR ELEVATIONS THIS SHEET.

ACCESSIBLE UNIT NOTES

- WHERE REMOVABLE BASE CABINETS OCCUR THEY SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE COUNTER OR SINK AND THE FINISH FLOOR MATERIAL SHALL EXTEND UNDER TO THE WALL AND ADJACENT PERMANENT CABINETS.
- PROVIDE GRAB BAR BLOCKING AT ALL TOILETS, TUBS AND SHOWERS. SEE DETAIL.
- ALL COUNTER TOPS SHALL BE 34" MAXIMUM ABOVE ADJACENT FINISH FLOOR. PROVIDE ACCESSIBLE DISHWASHER AND RANGE TO FIT 34" HIGH COUNTER.
- ALL PASSAGE DOORS SHALL BE 3'-0" MINIMUM.
- ALL DOOR THRESHOLDS SHALL BE 1/2" HIGH MAXIMUM. EXTERIOR SLIDING DOOR THRESHOLDS SHALL BE 3/4" MAXIMUM PROVIDED THEY ARE BEVELED WITH A SLOPE NOT GREATER THAN 1:2.
- WASHER AND DRYER SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" CENTERED ON THE APPLIANCE TO PROVIDE A PARALLEL APPROACH. ALL CONTROLS AND OPERATING MECHANISMS, INCLUDING DOORS, LINT SCREENS, DETERGENT AND BLEACH COMPARTMENTS NO HIGHER THAN 48" A.F.F.
- THE TOP OF THE TOILET SEAT SHALL BE 15" MINIMUM AND 19" MAXIMUM ABOVE THE FLOOR OR GROUND.
- MIRRORS ABOVE LAVATORIES SHALL HAVE THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAXIMUM ABOVE THE FLOOR OR GROUND.
- AT LEAST (1) SINK IN EACH BATHROOM MUST BE 25" MINIMUM FROM ADJACENT WALL AS MEASURED FROM CENTERLINE OF BOWL.



INTER. ELEVATIONS UNIT C1H

SCALE: 1/4" = 1'-0"

NOTE: ALL OPERABLE APPLIANCE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. SEE ADDITIONAL ACCESSIBLE UNIT NOTES THIS SHEET.

Contractor must verify all dimensions at project before proceeding with this work.
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Notice of alternate billing (or payment) cycle
This contract allows (may allow) the owner to require the submission of billings or estimates in billing cycles other than thirty days. (This contract may allow the owner to make payment on some alternative schedule after certification and approval of billings and estimates). A written description of such other billing (and/or) cycle applicable to the project is available from the owner or the owner's designated agent at PB Bell Companies
8603 E. Royal Palm Road STE. 210
(602)907-2448
and the owner or its designated agent shall provide this written description on request.

- 8/15/05 ARCHITECT REVISION
- 8/15/05 CITY REDLINES/REVISIONS



P.B. BELL & ASSOCIATES, INC.



WHITNEYBELL ARCHITECTS INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
(602)265-1891



2.20H
0457

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MAY 2005

FLOOR PLAN UNIT C1H

ROOM FINISH SCHEDULE - UNIT C2

CONTRACTOR'S TO BID ALTERNATES SEPERATE FROM BASE BID.

| ROOM | FLOOR | BASE | WALL | CEILING | REMARKS |
|---------------------|-------|------|------|---------|--------------------------|
| LIVING ROOM | 1 | 3 | 4 | 4 | ALT.#1 HARDWOOD FLOORING |
| DINING ROOM | 1 | | | | ALT.#2 CERAMIC TILE |
| KITCHEN | 6 | | | | |
| MASTER BEDROOM | 1 | | | | |
| MASTER BATH | 1,6 | | | | |
| WALK-IN CLOSET | 1 | | | | |
| LAUNDRY | 6 | | | | |
| BATHROOM | 6 | | | | |
| HALL | 1 | | | | |
| DEN/BEDROOM #3 | 1 | | | | |
| BEDROOM #2 | 1 | | | | |
| LINEN | 1 | | | | |
| PANTRY | 6 | | | | |
| POWDER ROOM | 6 | | | | |
| FOYER | 1 | | | | |
| STAIR LOBBY (UPPER) | 1 | | | | |

FINISH SCHEDULE KEY

- | | | |
|-----------------------|--|-----------------|
| 1. CARPET | 4. TEXTURE AS APPROVED BY OWNER - ONE COAT OF PAINT WITH EGGSHELL FINISH ON WALLS. ONE COAT OF PAINT WITH EGGSHELL FINISH ON CEILINGS. | 5. CONCRETE |
| 2. SHEET VINYL | | 6. CERAMIC TILE |
| 3. COLONIAL WOOD BASE | | 7. NONE |

WINDOW SCHEDULE

| DESIGNATION | SIZE | TYPE | DESIGNATION | SIZE | TYPE |
|-------------|-----------------------|------|-------------|-----------------------|------|
| A | 2626 FIXED | A | G | 1616 FIXED | A |
| B | 2636 FIXED | A | H | 2036 FIXED | A |
| C | 2646 FIXED | A | J | 5050 XO | C |
| D | 4050 XO | C | K* | 4050 FIXED (TEMPERED) | A |
| E | 2050 FIXED | A | L | 5050 XO | C |
| F | 1850 FIXED (TEMPERED) | A | M | 6050 XO | C |

* WINDOW GLAZING TO BE FROSTED OR OTHERWISE OBSCURED FOR PRIVACY.

DOOR SCHEDULE UNITS B2-C2

| NO. | SIZE | TYPE | MATERIAL | FRAME | REMARKS |
|-----|----------------------------|------|---------------------------|-------|----------------------------|
| 1 | 3'-0" x 8'-0" x 1 3/4" | A | 6 PANEL METAL | WOOD | W/ THRESHOLD AND PEEP HOLE |
| 2 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |
| 3 | 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |
| 3A | 2'-0" x 6'-0" x 1 3/4" | BB | H.C. TEMPERED HARD BOARD | WOOD | 1/2 ROUND PROFILE |
| 4 | 3'-0" x 8'-0" x 1 3/4" | B | S.C. WOOD | WOOD | SELF-CLOSER W/ THRESHOLD |
| 5 | (2) 3'-0" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 6 | 6'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 7 | 8'-0" x 8'-0" | - | TEMPERED GLASS | ALUM. | GLASS SLIDER |
| 8 | (2) 2'-6" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |
| 9 | 2'-8" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |
| 10 | (2) 2'-6" x 8'-0" x 1 3/8" | C | H.C. TEMPERED HARD BOARD | WOOD | BI-PASS |
| 11 | 3'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | POCKET DOOR |
| 12 | 8'-6" x 7'-0" | D | METAL - 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 13 | 16'-0" x 7'-0" | D | METAL - 4 PANEL SECTIONAL | WOOD | PANEL DESIGN PER ELEV. |
| 14 | (2) 2'-0" x 8'-0" x 1 3/8" | A | H.C. TEMPERED HARD BOARD | WOOD | - |

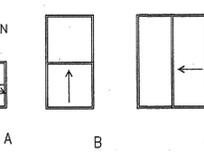
NOTES

SEE SHEET 2.10

LEGENDS

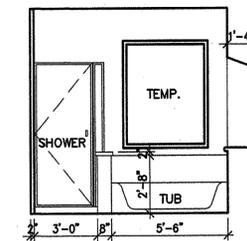
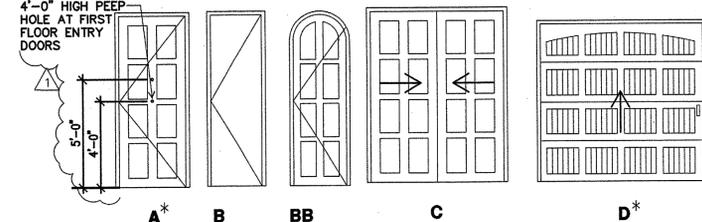
- 1 DOOR SYMBOL - SEE DOOR SCHEDULE THIS SHEET.
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VERT. & HORIZ. APPLIED MULLION AT WINDOW

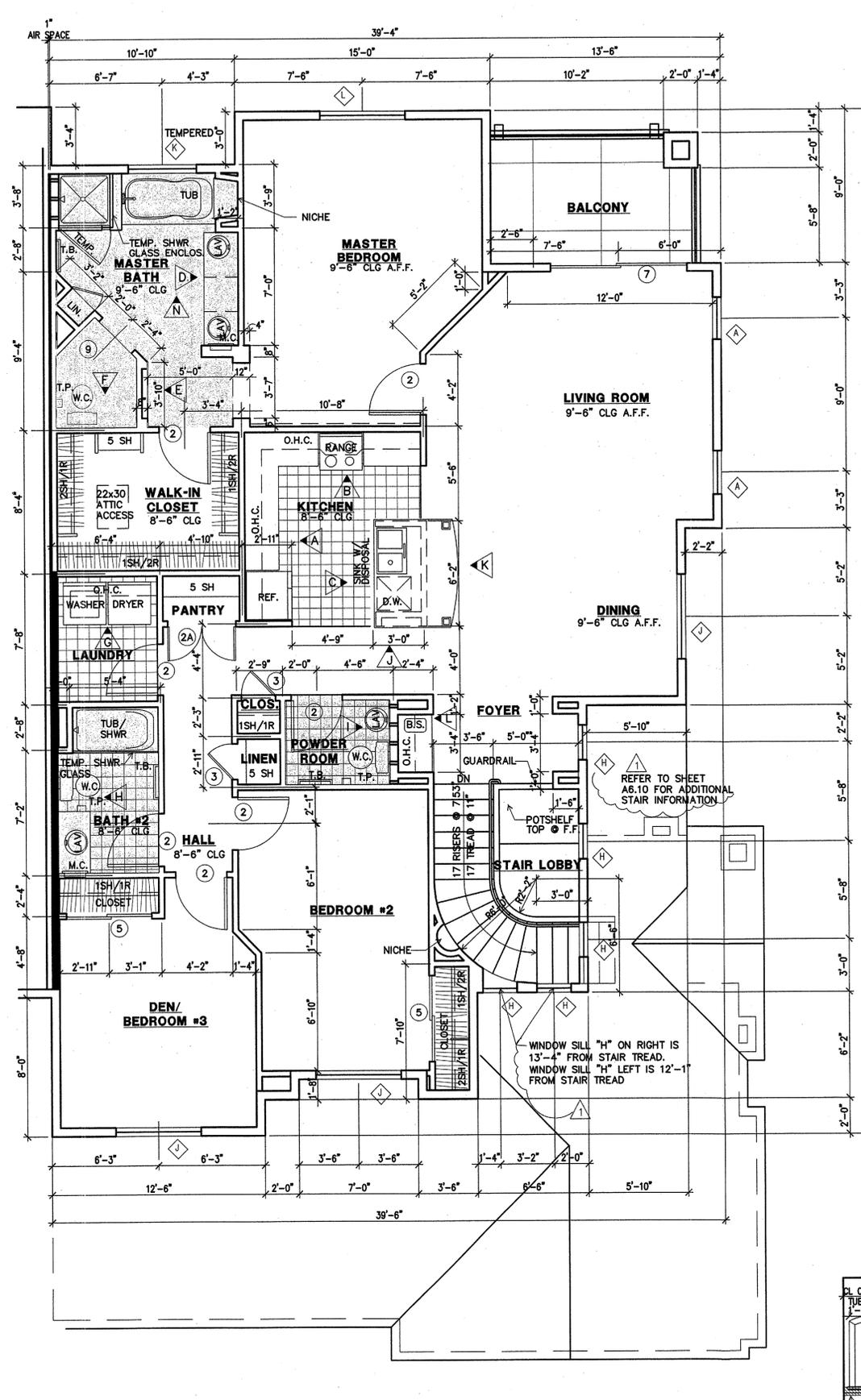
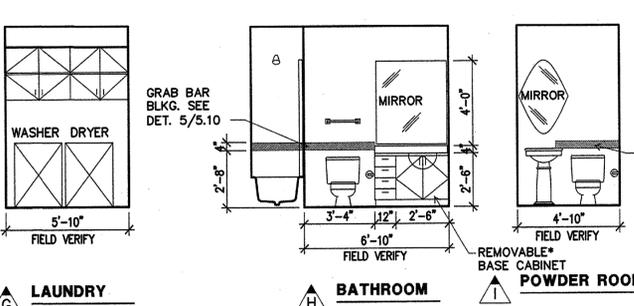
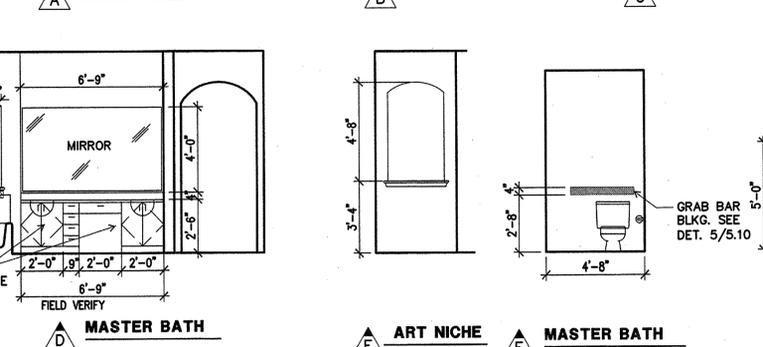
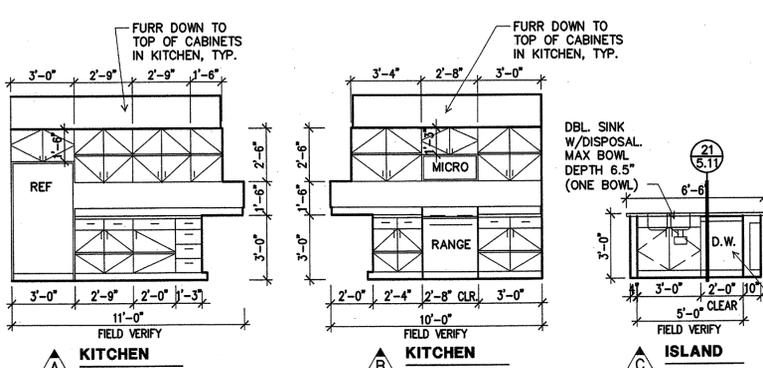
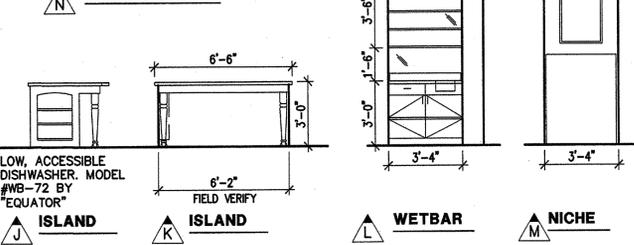


DOOR TYPES

* OWNER TO SELECT PANEL DESIGNS



MASTER BATH



FLOOR PLAN - UNIT C2

(UPPER FLOOR)

1937 SQFT. LIVABLE
86 SQFT. BALCONY
2023 SQFT. TOTAL

SCALE: 1/4" = 1'-0"

INTERIOR ELEVATIONS UNIT C2

SCALE 1/4" = 1'-0"

*NOTE: WHERE REMOVABLE BASE CABINETS OCCUR THEY SHALL BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF THE COUNTER OR SINK AND THE FINISH FLOOR MATERIAL SHALL EXTEND UNDER TO THE WALL AND ADJACENT PERMANENT CABINETS. SEE ACCESSIBLE LIMIT NOTES THIS SHEET.

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- 10/17/05 CITY REDLINES/REVISIONS
- 8/15/05 ARCHITECT REVISION
- 8/15/05 CITY REDLINES/REVISIONS



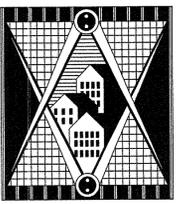
carino villas
CONDOMINIUM



P.B. BELL & ASSOCIATES, INC.



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Phoenix, Arizona 85014-2784
(602)265-1891



ARCHITECTURE AND PLANNING

2.40
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MAY 2005

FLOOR PLAN
UNIT C2

Project: Carino Villas

Location: NWC Queen Creek and Arizona Ave. Chandler, AZ

Site Development Cost to Complete Budget Comparison

Prepared for Communities Southwest

| |  |
|---|---|
| Date: | 9/15/2014 |
| Acres: | 4.98 |
| No. of Units: | 78 |
| Lot Width: | 0 |
| | Total |
| Pre-Development Expense | \$10,360.00 |
| Engineering | \$17,760.00 |
| Bonds | \$5,464.26 |
| Survey | \$7,480.00 |
| Testing | \$7,100.00 |
| Construction Management Fee | \$17,485.63 |
| Permits & Fees | \$23,099.92 |
| Demo | \$0.00 |
| Earthwork | \$32,287.27 |
| Storm Water Pollution Prevention/Dust Control | \$4,800.00 |
| Sewer | \$3,835.00 |
| Water | \$3,608.00 |
| Storm Drainage | \$70,321.00 |
| Dry Utilities | \$0.00 |
| Concrete | \$87,781.70 |
| Paving | \$67,375.00 |
| Adjustments, Signage & Striping | \$4,835.00 |
| Street Lights | \$12,450.00 |
| Landscape & Amenities | \$127,716.39 |
| Theme Wall/Perimeter Fence/Retaining Wall | \$13,600.00 |
| Warranty / R&R | \$8,531.29 |
| Contingency | \$52,589.05 |
| Sales Tax | \$17,900.91 |
| Total: | \$596,380.42 |
| Per Unit: | \$7,645.90 |



LAND DEVELOPMENT BUDGET

| | | | |
|-------------------|---|---------------------|----------------|
| PROJ NAME: | Carino Villas | PROJ ID: | 14- |
| PARCEL: | Onsites Partially Developed MF/Condo Lots | OWNER: | Communities SW |
| # OF LOTS: | 78 | LAST UPDATE: | |

**ORIGINAL BUDGET - Sandbox
9/15/2014**

| Account | Cost Code | DESCRIPTION / TASK | QUAN | UNIT | UNIT COST | EXTENSION TOTAL | TOTAL BUDGET |
|---------|-----------|--------------------|------|------|-----------|-----------------|--------------|
|---------|-----------|--------------------|------|------|-----------|-----------------|--------------|

Pre-Closing Costs

| | | | | | | | |
|--------------|--------------|--|---|----|-------------|-------------|--------------------|
| 14016 | 11000 | Pre-Development Expense | | | | | \$10,360.00 |
| | 11490 | Soils Report - Original & Update | 1 | LS | \$1,500.00 | \$1,500.00 | |
| | 13010 | Entitlements Management | 1 | LS | \$3,000.00 | \$3,000.00 | |
| | 11130 | TOPO Survey - Original & Update | 1 | LS | \$3,860.00 | \$3,860.00 | |
| | 11130 | Legal Descriptions | 2 | EA | \$500.00 | \$1,000.00 | |
| | 13750 | Reproduction and Reimbursables | 1 | LS | \$1,000.00 | \$1,000.00 | |
| 14016 | 13250 | Engineering | | | | | \$17,760.00 |
| | 13250 | ENGINEERING OF RECORD | 1 | ls | \$1,200.00 | \$1,200.00 | |
| | 13250 | Engineering Civil Plans | 1 | LS | \$14,160.00 | \$14,160.00 | |
| | 13250 | Street Light Design | 1 | LS | \$1,400.00 | \$1,400.00 | |
| | 13250 | Structural Engineering - Retaining Walls / Light Poles | 1 | LS | \$1,000.00 | \$1,000.00 | |

Post-Closing Costs

| | | | | | | | |
|--------------|--------------|--|--------|------|--------------|-------------|--------------------|
| 14016 | 13970 | Survey | | | | | \$7,480.00 |
| | 13970 | Construction Staking | 1 | EA | \$6,800.00 | \$6,800.00 | |
| | 13970 | Re-Staking - Optional Services - T&M | 10% | LS | \$6,800.00 | \$680.00 | |
| 14016 | 15100 | Testing | | | | | \$7,100.00 |
| | 15100 | Grading | 1 | EA | \$2,800.00 | \$2,800.00 | |
| | 15100 | Concrete and Pavement Right of Way Testing | 1 | EA | \$2,800.00 | \$2,800.00 | |
| | 15100 | Retaining Wall/Ramada Wall Inspections | 1 | LS | \$1,500.00 | \$1,500.00 | |
| 14018 | 17010 | Permits & Fees | | | | | \$23,099.92 |
| | 17010 | SWPPP | 1 | LS | \$1,500.00 | \$1,500.00 | |
| | 17010 | NPDES | 1 | LS | \$1,500.00 | \$1,500.00 | |
| | 17010 | MCESD | 1 | LS | \$0.00 | \$0.00 | |
| | 17010 | Improvement Plan Review Fees | 1 | EA | \$4,800.00 | \$4,800.00 | |
| | 17010 | Landscape Plan Review Fees | | | \$0.00 | | |
| | 17010 | Permit Fees (3.5% of hard costs) | 3.5% | % | \$437,140.65 | \$15,299.92 | |
| 14016 | 20100 | Demo | | | | | \$0.00 |
| | 20100 | Demolition -Allowance to remove existing Fence, Structure, Trees | 0 | LS | \$0.00 | \$0.00 | |
| 14016 | 20010 | Earthwork | | | | | \$32,287.27 |
| | 20010 | Grading | | | | | |
| | | <i>Mobilization</i> | 1 | LS | \$5,500.00 | \$5,500.00 | |
| | | <i>Pre-wet Site</i> | 5 | AC | \$550.00 | \$2,737.75 | |
| | | <i>Retention / Common Area / Street Finish / Blade Pads</i> | 24,092 | SY | \$0.75 | \$18,069.17 | |
| | | <i>Construction Water</i> | 737 | MGAL | \$5.75 | \$4,238.15 | |
| | 20010 | Site Clearing & Grubbing | 5 | AC | \$350.00 | \$1,742.21 | |
| 14016 | 22020 | DEVELOPER FINISHING | | | | | \$17,485.63 |
| | 22020 | Development Supervision | 4.00% | EA | \$437,140.65 | \$17,485.63 | |
| 14016 | 20220 | Storm Water Pollution Prevention/Dust Control | | | | | \$4,800.00 |
| | 20220 | Silt Fence or similar BMP | 100 | LF | \$3.00 | \$300.00 | |
| | 20220 | Trackout Devices | 1 | EA | \$1,500.00 | \$1,500.00 | |
| | 20220 | Storm Drain Outlet Silt Control Device | 0 | LF | \$0.00 | \$0.00 | |
| | 20220 | Maintenance | 1 | EA | \$3,000.00 | \$3,000.00 | |



LAND DEVELOPMENT BUDGET

| | | | |
|-------------------|---|---------------------|----------------|
| PROJ NAME: | Carino Villas | PROJ ID: | 14- |
| PARCEL: | Onsites Partially Developed MF/Condo Lots | OWNER: | Communities SW |
| # OF LOTS: | 78 | LAST UPDATE: | |

| | | | ORIGINAL BUDGET - Sandbox 9/15/2014 | | | | |
|--------------|--------------|---|--|------|-------------|-----------------|---------------------|
| Account | Cost Code | DESCRIPTION / TASK | QUAN | UNIT | UNIT COST | EXTENSION TOTAL | TOTAL BUDGET |
| 14016 | 23470 | Sewer | | | | | \$3,835.00 |
| | 23470 | Air Test After Dry's | 775 | LF | \$1.05 | \$813.75 | |
| | 23470 | Hydro-vac, Camera line | 775 | LF | \$0.65 | \$503.75 | |
| | 23470 | Test 4" Services | 16 | EA | \$75.00 | \$1,200.00 | |
| | 23470 | Air Test After Dry's (Re-test) | 775 | LF | \$1.05 | \$813.75 | |
| | 23470 | Hydro-vac, Camera line (Re-test) | 775 | LF | \$0.65 | \$503.75 | |
| 14016 | 24180 | Water | | | | | \$3,608.00 |
| | 24180 | Flush & Chlorinate | 1,312 | EA | \$2.75 | \$3,608.00 | |
| 14016 | 25140 | Storm Drainage | | | | | \$70,321.00 |
| | 25140 | Rip Rap | 434 | SF | \$6.50 | \$2,821.00 | |
| | 23135 | Dry-wells | 5 | EA | \$13,500.00 | \$67,500.00 | |
| 14016 | 30010 | Dry Utilities | | | | | \$0.00 |
| 14016 | 28100 | Concrete | | | | | \$87,781.70 |
| | 28100 | Concrete Mobilization | 1 | EA | \$3,000.00 | \$3,000.00 | |
| | 28100 | Parkway Grading (included in Earthwork) | 0 | EA | \$4,065.00 | \$0.00 | |
| | 28100 | 6" Vertical Curb & Gutter Per MAG 220 A | 1,576 | LF | \$8.50 | \$13,396.00 | |
| | 28100 | Ribbon Curb | 905 | LF | \$9.00 | \$8,145.00 | |
| | 28100 | 5' Curb & Gutter Transition Per MAG 221 | 20 | EA | \$35.00 | \$700.00 | |
| | 28100 | Single Curb MAG 222 Type A | 0 | LF | \$11.00 | \$0.00 | |
| | 28100 | Valley Gutter | 1,290 | SF | \$10.00 | \$12,900.00 | |
| | 28100 | 5' Sidewalk | 10,159 | SF | \$2.30 | \$23,365.70 | |
| | 28100 | Driveway Entrance | 750 | SF | \$7.50 | \$5,625.00 | |
| | 28100 | Sidewalk Ramp per COC C243 | 17 | EA | \$550.00 | \$9,350.00 | |
| | 28100 | Truncated Domes | 272 | SF | \$25.00 | \$6,800.00 | |
| | 28100 | Ramada Concrete Slab | 900 | SF | \$5.00 | \$4,500.00 | |
| 14016 | 28010 | Paving | | | | | \$67,375.00 |
| | 28010 | 2" AC on 6" ABC (On-sites) | 3,010 | SY | \$17.50 | \$52,675.00 | |
| | 28010 | Sawcut Existing Asphalt (2' Min. Width) | 200 | LF | \$2.00 | \$400.00 | |
| | 28010 | Pavers | 1,130 | SF | \$10.00 | \$11,300.00 | |
| | 28010 | Mobilization- Onsite | 1 | LS | \$3,000.00 | \$3,000.00 | |
| 14016 | 28000 | Adjustments, Signage & Striping | | | | | \$4,835.00 |
| | 28010 | Adjust Manhole | 5 | EA | \$375.00 | \$1,875.00 | |
| | 28010 | Adjust Cleanout Frame & Cover to Grade | 1 | EA | \$150.00 | \$150.00 | |
| | 28010 | Adjust Valve Frame & Cover to Grade | 5 | EA | \$350.00 | \$1,750.00 | |
| | 28010 | Install Survey Monument Type D | 2 | EA | \$150.00 | \$300.00 | |
| | 28010 | Fire Hydrant Marker | 4 | EA | \$25.00 | \$100.00 | |
| | 28010 | Install Sign Post and Base | 3 | EA | \$220.00 | \$660.00 | |
| 14016 | 30440 | Street Lights | | | | | \$12,450.00 |
| | 30440 | Private Street Lights | 6 | EA | \$1,725.00 | \$10,350.00 | |
| | 30440 | SL Pull Boxes | 6 | EA | \$350.00 | \$2,100.00 | |
| 14016 | 32770 | Landscape & Amenities | | | | | \$127,716.39 |
| | 32770 | Finish Grading | 1.24 | AC | \$1,500.00 | \$1,866.39 | |
| | 32770 | Landscape & Irrigation Square footage allowance | 54,200 | SF | \$1.75 | \$94,850.00 | |
| | 34510 | Ramada- Frame and Stucco Tile Roof | 1 | EA | \$28,000.00 | \$28,000.00 | |
| | 32770 | 90-DAY MAINTENANCE PERIOD | 1 | EA | \$3,000.00 | \$3,000.00 | |



LAND DEVELOPMENT BUDGET

| PROJ NAME: Carino Villas | | PROJ ID: 14- | | | | | |
|--|-----------|--|--------|------|--------------|-----------------|---------------------|
| PARCEL: Onsites Partially Developed MF/Condo Lots | | OWNER: Communities SW | | | | | |
| # OF LOTS: 78 | | LAST UPDATE: | | | | | |
| ORIGINAL BUDGET - Sandbox 9/15/2014 | | | | | | | |
| Account | Cost Code | DESCRIPTION / TASK | QUAN | UNIT | UNIT COST | EXTENSION TOTAL | TOTAL BUDGET |
| 14016 | 33765 | Theme Wall/Perimeter Fence/Retaining Wall | | | | | \$13,600.00 |
| | 33770 | Retaining Walls (Includes backfill) | 340 | LF | \$40.00 | \$13,600.00 | |
| | | Clean Up / Warranty / R&R | | | | | \$8,531.29 |
| | | Clean Up Streets for Final | 1 | EA | \$2,400.00 | \$2,400.00 | |
| | | Concrete R&R | 5% | LS | \$87,781.70 | \$4,389.09 | |
| | | Pre/Post Emergent (Weed Control) | 5 | AC | \$350.00 | \$1,742.21 | |
| 14048 | 12600 | BONDS | | | | | \$5,464.26 |
| | 12610 | Performance Bond | 1.250% | % | \$437,140.65 | \$5,464.26 | |
| | | Pre-Closing Costs | | | | | \$28,120.00 |
| | | Post-Closing Soft Costs | | | | | \$60,629.81 |
| | | Post-Closing Hard Costs | | | | | \$437,140.65 |
| 14016 | 92910 | CONTINGENCY | 10.00% | % | | | \$52,589.05 |
| | | SALES TAX | 4.095% | % | | | \$17,900.91 |
| | | TOTAL DEVELOPMENT COSTS: | | | | | \$596,380.42 |
| | | COST PER LOT: | | | | | \$7,645.90 |

- Notes:**
- 1 Based on Asbuilt Plans designed by Metro/Land Consultants, provided by Helix Engineering.
 - 2 Engineering resubmittal per Helix Engineering.
 - 3 Excludes any Architectural or Landscape Design.
 - 4 Includes provisions for plan review and permit fees.
 - 5 Per meeting with Steve Bowser, Helix Engineering- additional drywells will be required per City Chandler new double ring infiltrometer perc test.
 - 6 Assume site is mass graded to +/- 0.10 and site is balanced. No allowance for import or export .
 - 7 All water and sewer installed. Includes allowance to camera and inspect sewer and rechlorinate water mains.
 - 8 All sidewalk adjacent to curb included per take off sheets. No internal sidewalk included (by Vertical)
 - 9 No street light plans assume 6 new private street lights.
 - 10 Includes paving at 2" AC on 6" ABC. Allowance for decorative concrete or pavers at street crossings.
 - 11 Excludes- any power company conversions, irrigation abandonment or retiling, utility conversion, under ground tank or septic removals.
 - 12 Includes allowance for ROW Landscaping @ \$1.65/sf, 1 - Ramada, no provisions for any other amenities. Excludes interior landscaping.
 - 13 Includes allowance for cleanup, concrete R&R, and weed control.